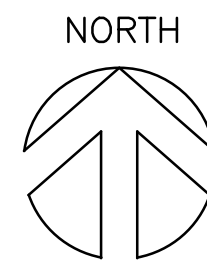
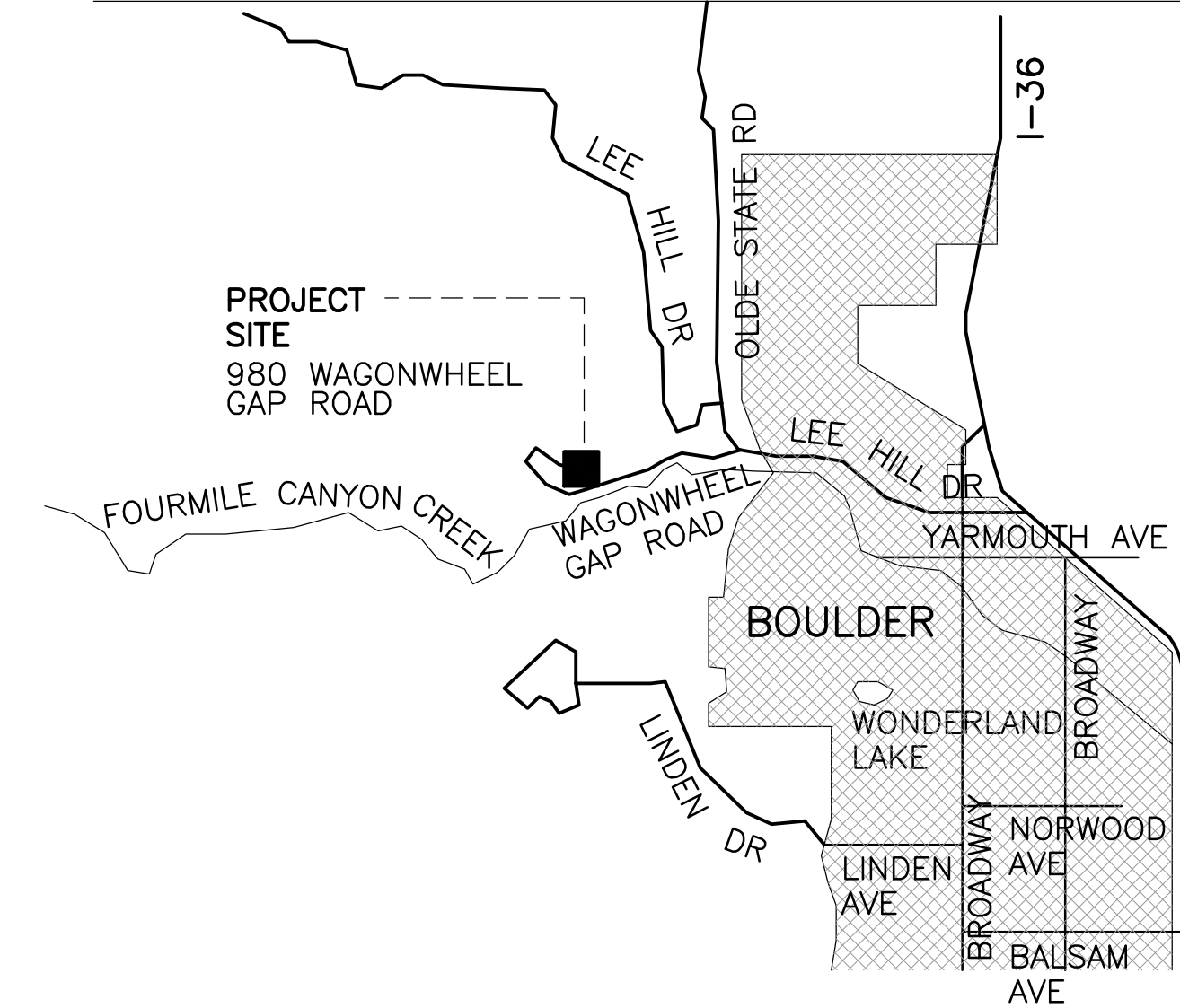


# LAM RESIDENCE BOULDER, CO



## VICINITY MAP



REVISIONS:

ISSUE:

DRAWN: DAS  
CHECKED: DAS  
DATE: 8-14-18  
FILE NO: A00-14

CONSULTANT

## SHEET INDEX

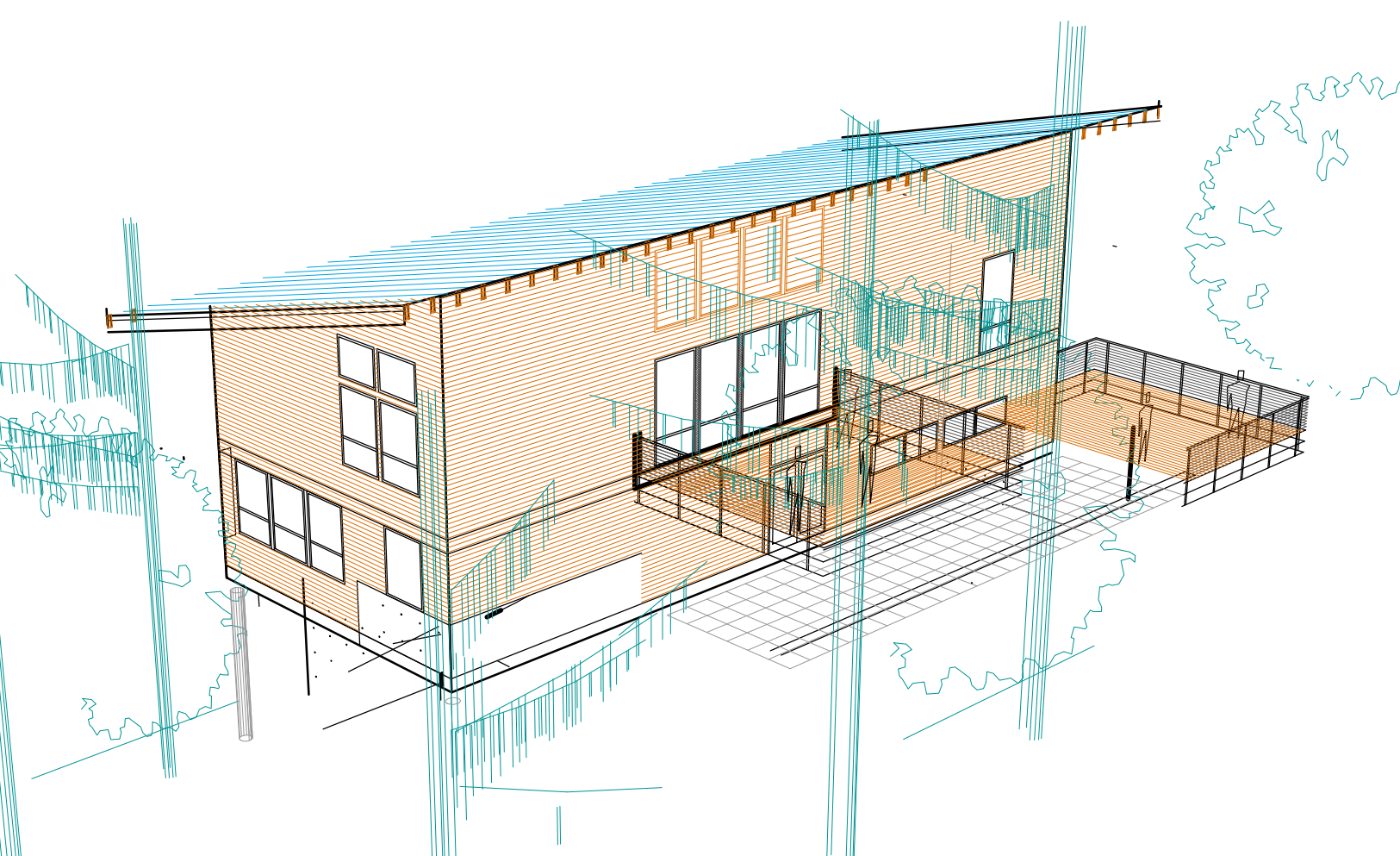
- A0.0 COVER SHEET
- A0.1 SITE PLAN & PROJECT DATA
- A0.2 GENERAL NOTES
- A0.3 DOOR & WINDOW SCHEDULE
  
- A1.0 LOWER FLOOR PLAN
- A1.1 MAIN FLOOR PLAN
- A1.2 UPPER FLOOR PLAN
  
- A-2 EXTERIOR ELEVATIONS
  
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- A3.2 SECTIONS & DETAILS
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- E-1 LOWER FL ELECTRICAL PLAN
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- S1.1 FOUNDATION PLAN
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- S1.3 UPPER FLOOR FRAMING PLAN
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- S2.2 STRUCTURAL DETAILS



DRIVE APPROACH



VIEW FROM ROADWAY



VIEW FROM HIGH SIDE

SHEET CONTENT:  
COVER SHEET

PROJECT:  
**LAM RESIDENCE**  
980 WAGONWHEEL GAP ROAD  
BOULDER, CO 80302

SHEET NUMBER

A0.0

**LEGAL DESCRIPTION**

TAX ASSESSOR NO.: 732090-0015

**LEGAL:**

LOT 35, BOW MOUNTAIN, SECOND FILING  
 LOCATED IN THE SW CORNER OF SECTION 11  
 TOWNSHIP 1 NORTH, RANGE 71 WEST OF THE 6TH P.M.  
 COUNTY OF BOULDER, STATE OF COLORADO

SITE AREA: 1.3 ACRES

**ADDRESS:**

980 WAGONWHEEL GAP ROAD  
 BOULDER, COLORADO 80302

**PROJECT CONSULTANTS**

**OWNER:** BERNARD LAM  
 1511 N WAHSATCH AVE  
 COLORADO SPRINGS, CO 80907  
 PHONE: 719-367-7329  
 EMAIL: BLAMUK@GMAIL.COM

**STRUCTURAL ENGINEER:** DLK ENGINEERING LLC  
 1300 PLAZA COURT NORTH  
 LAFAYETTE, COLORADO 80026  
 PHONE: 720-207-9924  
 EMAIL: JONATHAN@DLKENG.COM  
 CONTACT: JONATHAN WALLACE P.E.

**PROJECT DESCRIPTION**

CONSTRUCT NEW SINGLE-FAMILY 2-STORY + BASEMENT RESIDENCE  
 ON STEEP HILLSIDE WITH NEW ACCESS DRIVEWAY

**AREA SUMMARY**

**GARAGE:** 620 SQ. FT.

**GARAGE:**  
 FIN. LOWER FLOOR: 230 SQ. FT.  
 FIN. MAIN FLOOR: 1,790 SQ. FT.  
 FIN. UPPER FLOOR: 1,210 SQ. FT.  
**TOTAL FIN. FLOOR:** 3,230 SQ. FT.  
**TOTAL GROSS FLOOR (INCLUDING GARAGE):** 3,850 SQ. FT.

**ABOVE-GRADE DECKS:**  
 LOWER FL ENTRY DECK: 100 SQ. FT.  
 MAIN FL DECK: 312 SQ. FT.  
 UPPER FL DECK: 320 SQ. FT.  
**TOTAL DECK AREA:** 732 SQ. FT.

**LOT COVERAGE CALCULATION:**

**LOT AREA:** 1.3 ACRES  
**TOTAL ROOF AREA:** 2,620 SQ. FT.  
**TOTAL DECK AREA:** 732 SQ. FT.  
**TOTAL BUILDING FOOTPRINT:** 3,352 SQ. FT.  
**LOT COVERAGE:** 4%

**AGENCY CODE REVIEW**

**BUILDING CODE:** 2015 INTERNATIONAL RESIDENTIAL CODE (IRC)  
**ENERGY CODE:** 2015 COLORADO STATE ENERGY CODE

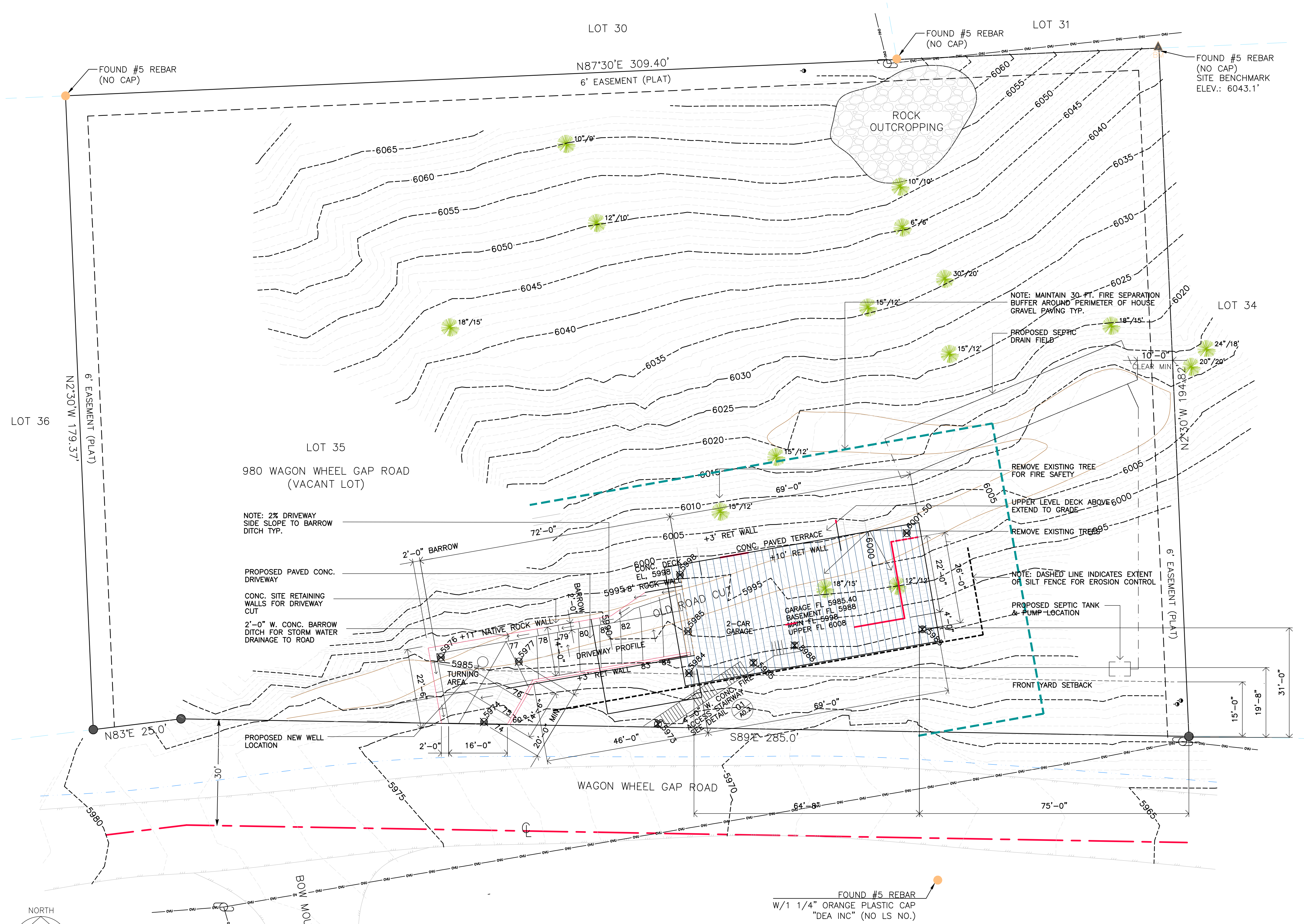
**B. CONSTRUCTION TYPE:** VB  
**C. OCCUPANCY GROUP:** R-3

**SYMBOLS**

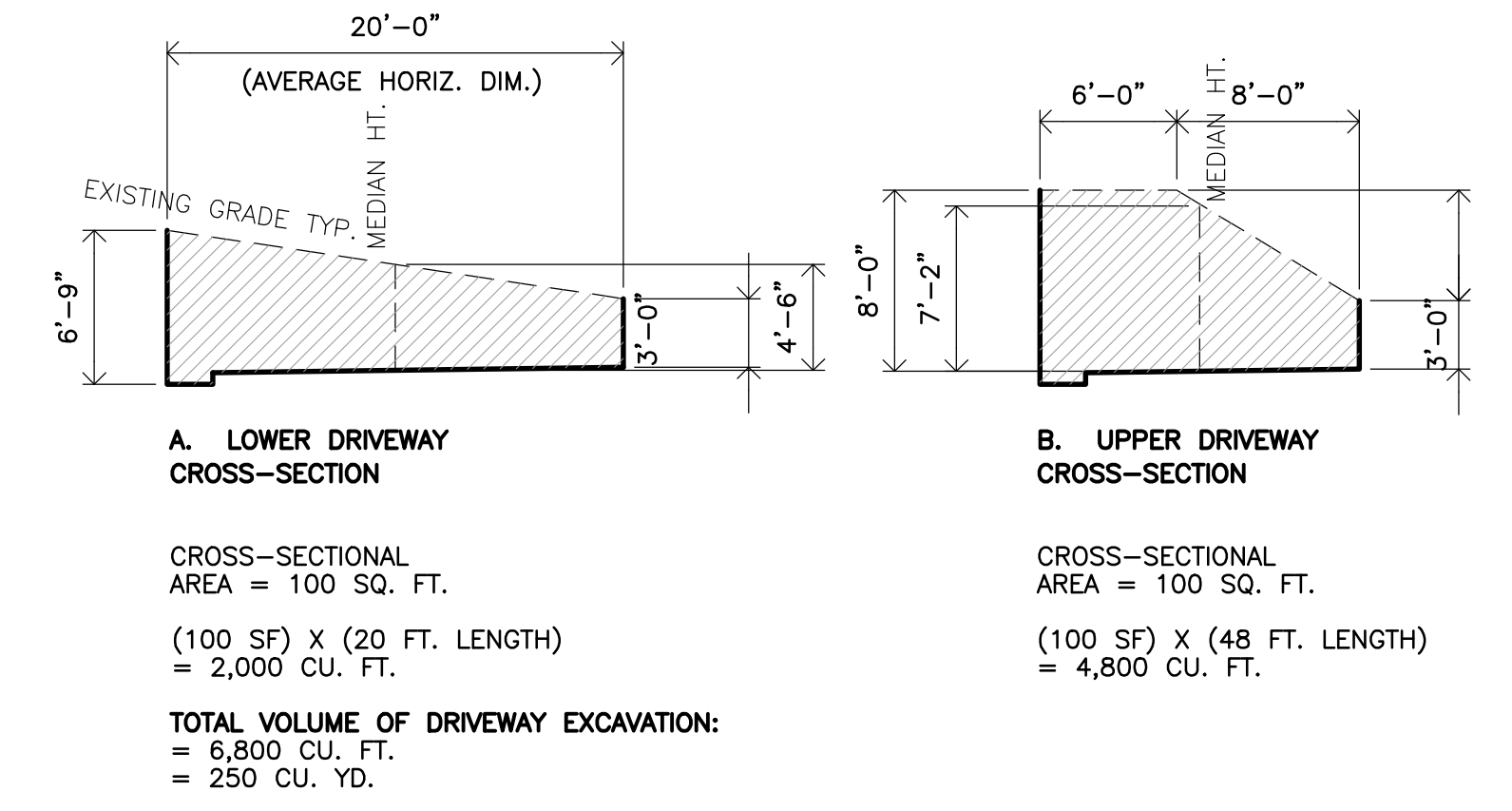
- ELEVATION INDICATOR
- DOOR INDICATOR
- WINDOW INDICATOR
- BUILDING SECTION INDICATOR
- WALL SECTION INDICATOR
- DETAIL INDICATOR

**ABBREVIATIONS**

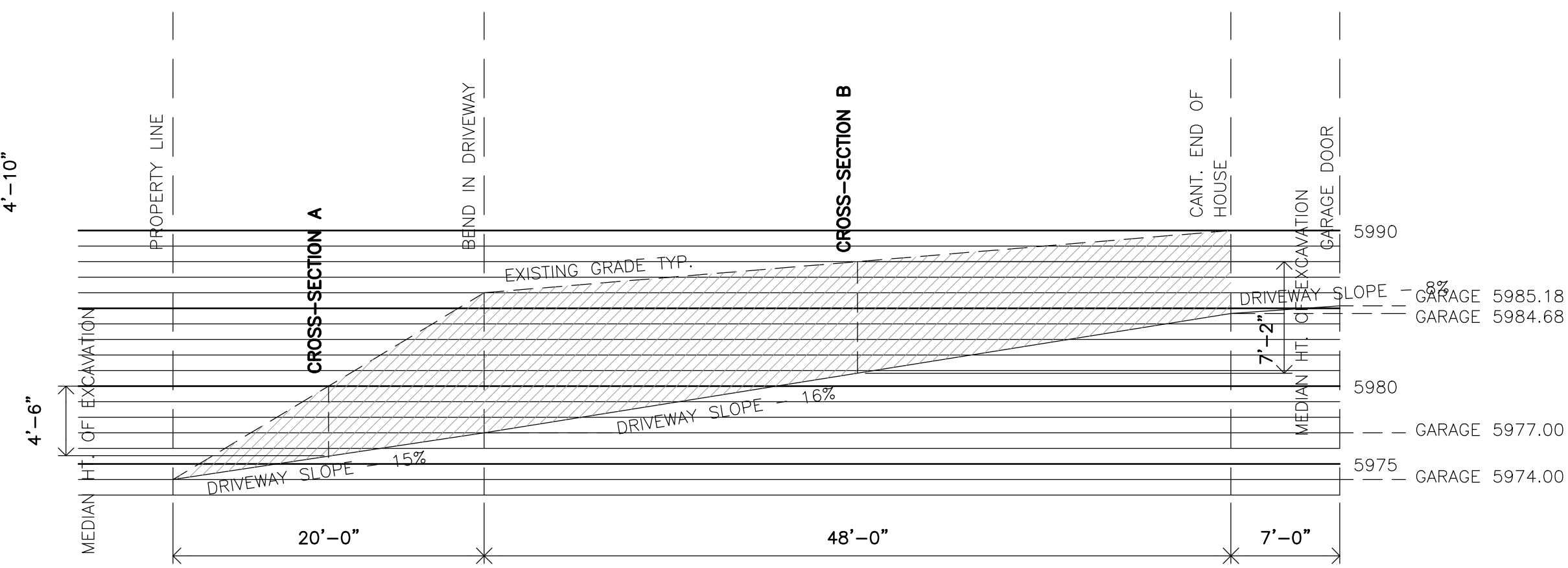
ADJ	ADJUSTABLE	IN	INCH
A.F.F.	ABOVE FINISHED FLOOR	MANUF	MANUFACTURER
BLK'G	BLOCKING	MECH	MECHANICAL
CL	CENTERLINE	MIN	MINIMUM
CLR	CLEAR/CLEARANCE	N/A	NOT APPLICABLE
CLG	CEILING	N.I.C.	NOT IN CONTRACT
CMU	CONCRETE MASONRY UNIT	NO	NUMBER
COL	COLUMN	NTS	NOT TO SCALE
CONC	CONCRETE	O.C.	ON CENTER
CONT	CONTINUOUS	P-LAM	PLASTIC LAMINATE
CPT	CARPET	PT	PRESSURE TREATED
DET	DETAIL	REINF	REINFORCING
DIM	DIMENSION	REINFORC	REINFORCEMENT
DWG	DRAWING	REQ'D	REQUIRED
ELEC	ELECTRICAL	REV.	REVISED/REVISION
EQ	EQUAL	SCHED	SCHEDULE
FT	FOOT/FEET	SIM	SIMILAR
FURN	FURNISH	SQ	SQUARE
G.C.	GENERAL CONTRACTOR	SUSP	SUSPENDED
GWB	GYPSPUM WALL BOARD	SV	SHEET VINYL
HDWR	HARDWARE	TEMP	TEMPERED
HT	HEIGHT	TYP	TYPICAL



**01 SITE PLAN**  
 1" = 30'-0"



**02 DRIVEWAY PROFILE**  
 1" = 8'-0"



REVISIONS:	
ISSUE:	
DRAWN: DAS	
CHECKED: DAS	
DATE: 8-14-18	
FILE NO: A01	
CONSULTANT:	
SHEET CONTENT:	SITE PLAN & PROJECT DATA
PROJECT:	LAM RESIDENCE
	980 WAGONWHEEL GAP ROAD
	BOULDER, CO 80302
SHEET NUMBER:	A0.1

**GENERAL NOTES:**

- All work to comply with the Residential Code for One--and Two--Family Dwellings of Boulder County 2015 & Boulder County Building Codes and Amendments 2015 (based on International Residential Code (IRC) 2015)  
All work to comply with the Boulder County BuildSmart Program 2015.
- Foundation ventilation: 1/150 crawlspace area per IRC R408.1.
- All foundation and attic vents shall not exceed 144 sq. in. each. Such vents shall be covered with non-combustible corrosion-resistant mesh with openings not to exceed 1/8 inch. Foundation vents shall be located as close to grade as possible.
- Application and installations of insulation and vapor barriers shall comply with Colorado State Energy Code thermal insulation standards.
- Attic ventilation: 1/150 of attic area or 1/300 if between 40% and 50% of vents are minimum 3' above plate line. IRC. R806.2.
- Attic access min. 22" x 30" with min. 30" headroom, unobstructed, readily accessible opening. IRC R807.1.
- In rooms not provided with an operable window of 4% of floor area or greater, a mechanical ventilation system, capable of providing 0.35 air changes per hour, shall be provided, per IRC R303.1.
- Vent dryer, bath fans and ranges/ovens to the outside, unless otherwise permitted by manufacturer's installation instructions. Dryer exhaust shall not exceed 14 ft in length.
- Tile for shower shall be 6' from floor with water resistant backing. See IRC R307.2.
- Egress in every sleeping room shall have a min. net clear opening of 5.7 sq. ft. The min. net clear opening height dimension shall be 24", the min. net clear opening width dimension shall be 20", and the finished sill height not more than 44" above the finished floor. IRC R310.1.
- Fireplace code compliance per IRC Chapter 10 and local Building Department.
- Hearth Extensions: Hearth shall extend at least 16" from the front of, and at least 8" beyond each side of the fireplace opening. Where the fireplace opening is 6 sq. ft. or larger, the hearth extension shall extend at least 20" in front of, and at least 12" beyond, each side of the fireplace opening. IRC R1001.10.
- Glazing in compliance with IRC R308 and Colorado State Safety Glass Law. Exceptions are as outlined in IRC R308.
- Glazing in locations subject to human impact such as glass on doors, glazing within a 24" arc on either side of a door opening, glazing closer than 18" to a floor, shower doors, and tub enclosures shall be wire reinforced, tempered glass, laminated safety glass or shatter resistant plastic. IRC R308.4.
- Sliding glass doors to be safety glazing, laminated, or tempered glass. IRC R308.4.1.
- Shower enclosures shall be approved, wire reinforced, tempered or laminated safety glass or shatter resistant plastic. IRC R308.4.5.
- Glazing within 18" of floor and greater than 9 sq. ft. in area shall comply with impact loads. See plans. IRC R308.4.3.
- All exterior wall glazing shall be double glazed and comply with State of Colorado Energy Code.
- ROOFING:**
  - Apply roofing in accordance with IRC.
  - Provide attic ventilation as indicated on roof framing plans.
- SECURITY:**
  - Provide all building entrance doors with locking deadbolt with min 1/2" throw and minimum 1/4" penetration into strike plate; main entrance door shall be operable from the inside without use of a key or special knowledge of effort.
  - Provide visitor observation ports @ height of +5'-0" above fin fl in all opaque entrance doors.
  - All windows within 10'-0" of grade or deck access shall be locking.
- All smoke detectors shall be hard-wired and interconnected as required by IRC Section R314.
- All carbon monoxide detectors shall be hard-wired and interconnected as required by IRC Section R315.
- Verify all existing dimensions in field prior to construction.
- IRC R313.2 An automatic residential fire sprinkle system shall be installed in one- and two-family dwellings.
- IRC R328.1 Provide wiring and/or plumbing as required to accommodate for future installation of a residential photovoltaic solar generation system.
- IRC R329.1 Provide one 125 volt receptacle outlet in the garage for each car space as well as one Level 2 (240 volt) electric vehicle charging receptacle.

**HVAC NOTES:**

- Terminate all chimneys and flues min. 2' above the highest point of the building within 10' of the flue. For gas venting, IRC fig. G2427.5.3.
- Factory built chimneys U.L. Labeled per IRC G2430.1, install per terms of listing.
- Metal flues venting gas appliances shall have a min. net clearance of 6" to all combustible materials, per IRC table G2427.10.5.
- Prefabricated fireplaces shall bear UL or ICBO seal of approval and shall be installed per conditions--IRC G2434, 2435.
- Insulation of ducts, IRC M1601.3 (horizontal and vertical).
- Ductwork in single family dwellings per IRC M1601.4.1:
  - Round ducts, slip joints min. 1-1/2" mech. fastened with min. 2 sheet metal screws joints and seams shall be substantially airtight.
  - Rectangular or square ducts and joints.
  - Support ducts, (horizontal and vertical).
- Pan jts, cold air return only, min. 28 ga sheet metal, IRC table M1601.1.1(2).

**SUPPLY VENTILATION SYSTEM:**

- (CHOOSE ONE)
- INTEGRATED SYSTEM WITH FRESH AIR INTRODUCED INTO RETURN-AIR DUCT. MOTORIZED DAMPER WILL BE INCLUDED. YES/NO (HIGHLY RECOMMENDED.)
  - WINDOW PORTS AT EACH HABITABLE ROOM. MINIMUM = NET (4) SQ. IN. EACH.
  - WALL PORTS AT EACH HABITABLE ROOM. MINIMUM = MINIMUM NET (4) SQ. IN. EACH. MANUFACTURER: AMERICAN ALDES MODEL: AIRLET 100 (SEE SHT. E-2 FOR LOCATIONS)

**EXHAUST VENTILATION SYSTEM:**

**SOURCE SPECIFIC EXHAUST VENTILATION (CHOOSE ONE)**

LOCATION	MIN.	MANUFACTURER	MODEL	CFM--25WG	CFM--1WG	W.HOUSE	SONES
KITCHEN	350 CFM			CFM	CFM	YES/NO	_____
BATH 1	200 CFM	PANASONIC	FV-0510VS1	CFM	CFM	YES/NO	_____
BATH 2	200 CFM	PANASONIC	FV-0510VS1	CFM	CFM	YES/NO	_____
X BATH 3	200 CFM	PANASONIC	FV-0510VS1	CFM	CFM	YES/NO	_____
X LAUNDRY	200 CFM	PANASONIC	FV-0510VS1	CFM	CFM	YES/NO	_____

NOTE: FROM TABLE M1507.3.3(1), FOR 4-BED LIVING UNIT OF 3,001 TO 4,500 SQ. FT. A MINIMUM CONTINUOUS VENTILATION RATE OF 90 CFM IS REQUIRED.  
FOR FAN CONTROLLED BY INTERMITTENT TIMER, PROGRAMMED FOR 1 HR. RUN-TIME PER 4 HR. PERIOD (RUN-TIME PERCENTAGE OF 25%) HAS A FACTOR F = 4.0  
PER SRC TABLE M1507.3.3(2)  
MINIMUM INTERMITTENT VENTILATION RATE REQUIRED = 90 CFM X (F=4.0) = 360 CFM  
(2) INTERMITTENT FANS 200 CFM EA.= 400 CFM TOTAL WHOLE-HOUSE VENTILATION PROVIDED

**ENERGY CODE GENERAL NOTES:**

- DUCT LEAKAGE TEST RESULTS SHALL BE PROVIDED TO THE BUILDING INSPECTOR AND HOMEOWNER PRIOR TO AN APPROVED FINAL INSPECTION.
- A RESIDENTIAL ENERGY COMPLIANCE CERTIFICATE IS REQUIRED TO BE COMPLETED BY THE BUILDER AND PERMANENTLY POSTED WITHIN 3 FT. OF THE ELECTRICAL PANEL PRIOR TO FINAL INSPECTION.
- AIR LEAKAGE SHALL NOT EXCEED 5 AIR CHANGES PER HOUR AND SHALL BE TESTED AS SUCH. A WRITTEN REPORT OF THE TEST RESULTS SHALL BE SIGNED BY THE TESTING PARTY AND PROVIDED TO THE BUILDING INSPECTOR, PRIOR TO CALL FOR FINAL INSPECTION.
- A SIGNED AFFADAVIT DOCUMENTING THE DUCT LEAKAGE TEST RESULTS SHALL BE PROVIDED TO THE BUILDING INSPECTOR PRIOR TO AN APPROVED FINAL INSPECTION.
- MINIMUM OF 75% OF ALL INTERIOR LUMINAIRES SHALL BE HIGH-EFFICACY LUMINAIRES. ALL EXTERIOR LIGHTING SHALL BE HIGH-EFFICACY LUMINAIRES.
- EACH DWELLING UNIT IS REQUIRED TO BE PROVIDED WITH AT LEAST ONE PROGRAMMABLE THERMOSTAT FOR THE REGULATION OF TEMPERATURE.
- ALL GLAZING IS TO BE LABELED "NFRC CERTIFIED"--SEE WINDOW SCHEDULE

**PLUMBING NOTES:**

- N1101.17 Indoor water conservation: all new bathroom sink faucets, shower heads, and toilets must be labeled as meeting EPA Water Sense criteria. Exceptions: showerheads with maximum flow of 2 gpm/minute

**RADON NOTES:**

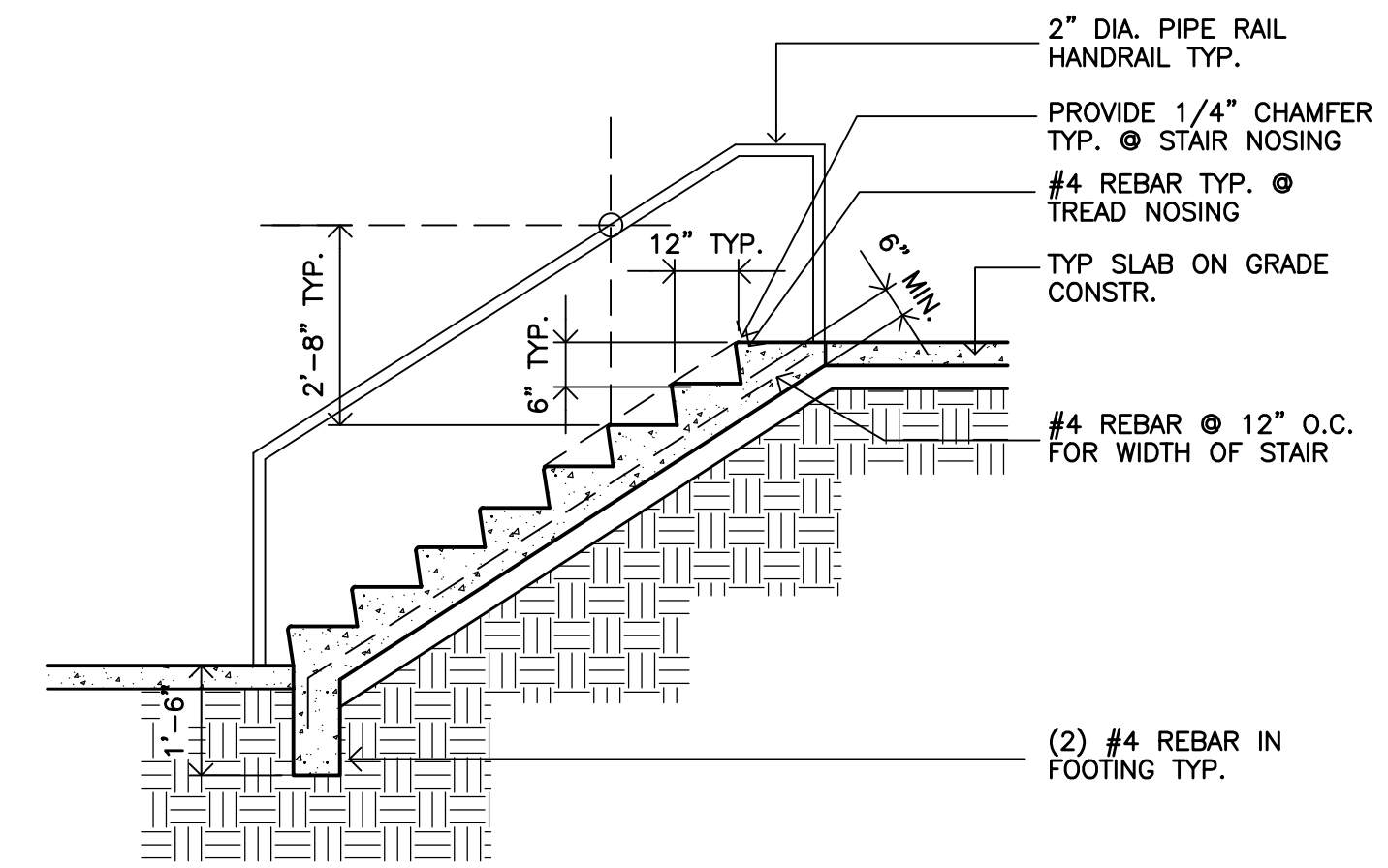
- A RADON MITIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH IRC APPENDIX F. RADON MITIGATION DESIGN SHOWN IN DESIRED LOCATIONS ONLY; FINAL DESIGN BY OTHERS.

**EV CHARGING NOTES:**

- PER BOULDER COUNTY BUILDING CODE R329.1, INSTALL UPGRADED WIRING TO ACCOMMODATE THE FUTURE INSTALLATION OF A LEVEL 2 (240 VOLT) ELECTRIC VEHICLE CHARGING RECEPTACLE.

**SPRINKLER NOTES:**

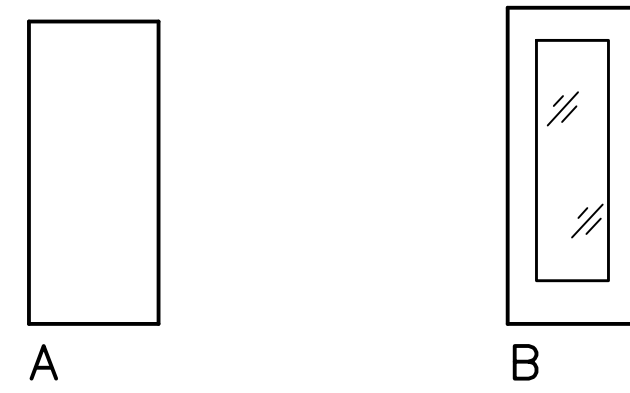
- PER BOULDER COUNTY BUILDING CODE R313, AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH NFPA 13D. ALL FIRE SUPPRESSION DEVICES ARE SHOWN IN DESIRED LOCATIONS ONLY ON SHEETS E-1 AND E-2; FINAL DESIGN BY OTHERS.



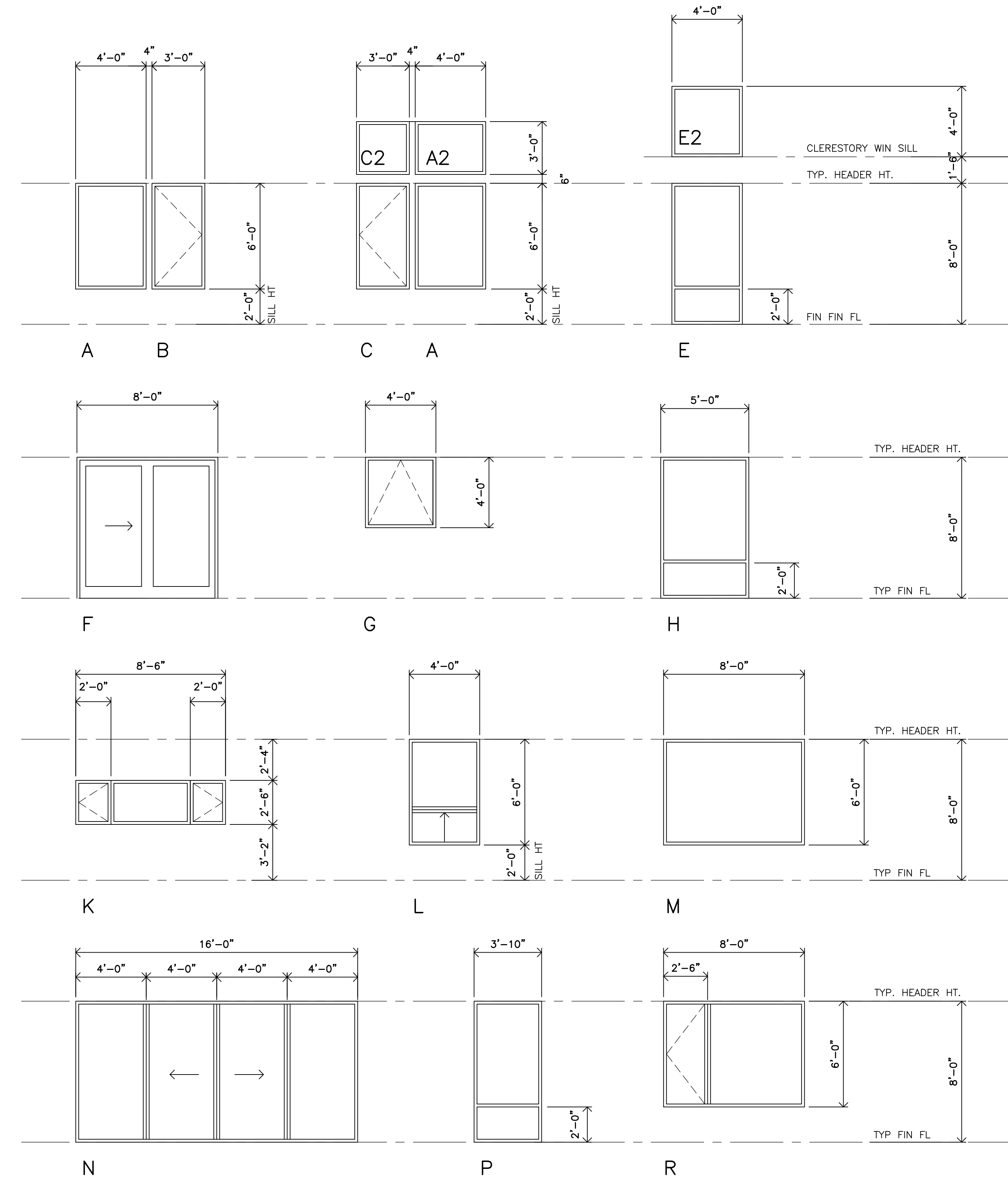
**01 CONC. STAIR ON GRADE**  
3/8" = 1'-0"

REVISIONS:					
ISSUE:					
DRAWN: DAS	CHECKED: DAS	DATE: 8-14-18	FILE: NO:402		
CONSULTANT:					
SHEET CONTENT:	GENERAL NOTES & PROJECT DATA				
	PROJECT:	LAM RESIDENCE 980 WAGONWHEEL GAP ROAD BOULDER, CO 80302			
	SHEET NUMBER	A0.2			

DOOR TYPE



WINDOW TYPES



WINDOW NOTES:

1. ALL VENT OPENINGS TO HAVE SCREENS.

EXTERIOR GLAZING AREA CALC:

TOTAL GLAZING CALC. FROM WINDOW SCHEDULE A0.3:  
 TOTAL EXTERIOR WINDOW GLAZING: 1,334 SQ. FT.  
 TOTAL EXTERIOR DOOR GLAZING: 63 SQ. FT.  
 TOTAL GLAZING: 1,397 SQ. FT.

SOUTH-FACING GLAZING CALC.:  
 TOTAL EXTERIOR WINDOW GLAZING: 680 SQ. FT.  
 TOTAL EXTERIOR DOOR GLAZING: 21 SQ. FT.  
 TOTAL SOUTH-FACING GLAZING: 701 SQ. FT.  
 RATIO OF S. GLAZING/TOTAL GLAZING: 50%

DOOR SCHEDULE

DOOR NO.	SIZE			TYPE	DOOR		FRAME		DET. /SHT A0.3			U-VALUE	FIRE RATING	REMARKS
	WIDTH	HT	THK.		MATL.	FIN.	MATL.	FIN.	HD	JMB	SILL			
B01	3'-0"	8'-0"	1-3/4"	B	WD	PT	WD	PT				0.30		TEMPERED GL. >46% EXTERIOR ENTRY DR.--SEE GLAZING CALC
B02	2'-4"	6'-8"	1-3/4"	B	WD	PT	WD	PT						POCKET DR./TEMP. GLASS
B03	6'-0"	6'-10"			WD	PT	WD	PT						CRAWLSP. ACCESS SLIDING BARN DOOR W/ GALV. MTL. TRACK
B04	3'-0"	6'-8"	1-3/4"	A	WD	PT	WD	PT					20 MIN	S.C. SELF-CLOSING
B05	3'-0"	6'-8"	1-3/8"	A	WD	PT	WD	PT						NON-COMBUSTABLE FIBERGLASS DOOR
101	2/3'-0"	8'-0"	1-3/4"	B	WD	PT	WD	PT				0.30		TEMPERED GL. >46% DBL EXTERIOR DR.--SEE GLAZING CALC
102	2'-6"	6'-8"	1-3/8"	B	WD	PT	WD	PT						POCKET DOOR/TEMP. GLASS
103	2'-6"	6'-8"	1-3/8"	B	WD	PT	WD	PT						POCKET DOOR/TEMP. GLASS
104	2'-6"	6'-8"	1-3/8"	A	WD	PT	WD	PT						
105	2'-6"	6'-8"	1-3/8"	B	WD	PT	WD	PT						TEMP. GLASS
106	2'-6"	6'-8"	1-3/8"	A	WD	PT	WD	PT						
107	2'-6"	6'-8"	1-3/8"	B	WD	PT	WD	PT						POCKET DOOR/TEMP. GLASS
108	2'-6"	6'-8"	1-3/8"	B	WD	PT	WD	PT						POCKET DOOR/TEMP. GLASS
201	2'-6"	6'-8"	1-3/8"	A	WD	PT	WD	PT						
202	2/2'-6"	6'-8"	1-3/8"	A	WD	PT	WD	PT						
203	2'-6"	6'-8"	1-3/8"	A	WD	PT	WD	PT						
204	2/2'-6"	6'-8"	1-3/8"	A	WD	PT	WD	PT						
205	2'-6"	6'-8"	1-3/8"	A	WD	PT	WD	PT						
206	2/2'-6"	6'-8"	1-3/8"	A	WD	PT	WD	PT						
207	2/2'-4"	6'-8"	1-3/4"	B	WD	PT	WD	PT						DOUBLE POCKET DR./TEMP. GLASS
208	2'-4"	6'-8"	1-3/4"	B	WD	PT	WD	PT						POCKET DR./TEMP. GLASS

WINDOW SCHEDULE

WINDOW NO.	TYPE	ROUGH OPENING		FRAME		GLAZ'G	AREA (SQ FT)	U VALUE	HDR HT (A.F.F.)	SHGC VALUE	ANDERSEN MODEL NO.	REMARKS
		WIDTH	HEIGHT	MATL.	FIN.							
B01	H	5'-0"	8'-0"	COMP	FF	INSUL	40.0	.26	8'-0"	.22	100 SERIES	TEMPERED SAFETY GLASS
101	N	16'-0"	8'-0"	COMP	FF	INSUL	128.0	.27	8'-0"	.31	200 SERIES	TEMPERED GLASS/DBL SLIDING GLASS DOOR
102	K	8'-6"	2'-6"	COMP	FF	INSUL	21.0	.28	8'-0"	.31	100 SERIES	
103	L	4'-0"	6'-0"	COMP	FF	INSUL	24.0	.26	8'-0"	.22	100 SERIES	TEMPERED SAFETY GLASS
104	B	3'-0"	6'-0"	COMP	FF	INSUL	18.0	.26	5'-8"	.27	100 SERIES	EGRESS WINDOW
105	A	4'-0"	6'-0"	COMP	FF	INSUL	24.0	.26	8'-0"	.32	100 SERIES	
106	E	4'-0"	8'-0"	COMP	FF	INSUL	32.0	.26	8'-0"	.22	100 SERIES	
107	E	4'-0"	8'-0"	COMP	FF	INSUL	32.0	.26	8'-0"	.22	100 SERIES	
108	E	4'-0"	8'-0"	COMP	FF	INSUL	32.0	.26	8'-0"	.22	100 SERIES	
109	E	4'-0"	8'-0"	COMP	FF	INSUL	32.0	.26	8'-0"	.22	100 SERIES	
110	E	4'-0"	8'-0"	COMP	FF	INSUL	32.0	.26	8'-0"	.22	100 SERIES	
111	E	4'-0"	8'-0"	COMP	FF	INSUL	32.0	.26	8'-0"	.22	100 SERIES	
112	E	4'-0"	8'-0"	COMP	FF	INSUL	32.0	.26	8'-0"	.22	100 SERIES	
113	E	4'-0"	8'-0"	COMP	FF	INSUL	32.0	.26	8'-0"	.22	100 SERIES	
114	E	4'-0"	8'-0"	COMP	FF	INSUL	32.0	.26	8'-0"	.22	100 SERIES	
115	E	4'-0"	8'-0"	COMP	FF	INSUL	32.0	.26	8'-0"	.22	100 SERIES	
200	P	3'-10"	8'-0"	COMP	FF	INSUL	31.0	.26	8'-0"	.22	100 SERIES	ALIGN W/SGD BELOW
201	P	3'-10"	8'-0"	COMP	FF	INSUL	31.0	.26	8'-0"	.22	100 SERIES	ALIGN W/SGD BELOW
202	P	3'-10"	8'-0"	COMP	FF	INSUL	31.0	.26	8'-0"	.22	100 SERIES	ALIGN W/SGD BELOW
203	P	3'-10"	8'-0"	COMP	FF	INSUL	31.0	.26	8'-0"	.22	100 SERIES	ALIGN W/SGD BELOW
204	M	8'-0"	6'-0"	COMP	FF	INSUL	48.0	.29	8'-0"	.31	100 SERIES	
205	B	3'-0"	6'-0"	COMP	FF	INSUL	18.0	.26	8'-0"	.22	100 SERIES	EGRESS WINDOW
206	F	8'-0"	8'-0"	COMP	FF	INSUL	64.0	.27	8'-0"	.31	100 SERIES	SGD TEMPERED SAFETY GLASS
206A	E2	4'-0"	4'-0"	COMP	FF	INSUL	16.0	.26	13'-6"	.32	100 SERIES	TRANSOM WINDOW/TEMP. GLASS
206B	E2	4'-0"	4'-0"	COMP	FF	INSUL	16.0	.26	13'-6"	.32	100 SERIES	TRANSOM WINDOW/TEMP. GLASS
207	E	4'-0"	8'-0"	COMP	FF	INSUL	32.0	.26	8'-0"	.22	100 SERIES	TEMPERED SAFETY GLASS
207A	E2	4'-0"	4'-0"	COMP	FF	INSUL	16.0	.26	13'-6"	.32	100 SERIES	TRANSOM WINDOW/TEMP. GLASS
208	A	4'-0"	6'-0"	COMP	FF	INSUL	24.0	.26	8'-0"	.32	100 SERIES	
208A	A2	4'-0"	3'-0"	COMP	FF	INSUL	12.0	.26	11'-6"	.32	100 SERIES	TRANSOM WINDOW
209	C	3'-0"	6'-0"	COMP	FF	INSUL	18.0	.26	8'-0"	.22	100 SERIES	EGRESS WINDOW/CASEMENT
209A	C2	3'-0"	3'-0"	COMP	FF	INSUL	9.0	.26	8'-0"	.32	100 SERIES	TRANSOM WINDOW
210	B	3'-0"	6'-0"	COMP	FF	INSUL	18.0	.26	8'-0"	.27	100 SERIES	EGRESS WINDOW/CASEMENT
211	A	4'-0"	6'-0"	COMP	FF	INSUL	24.0	.26	8'-0"	.32	100 SERIES	
212	E	4'-0"	8'-0"	COMP	FF	INSUL	32.0	.26	8'-0"	.22	100 SERIES	
213	E	4'-0"	8'-0"	COMP	FF	INSUL	32.0	.26	8'-0"	.22	100 SERIES	
214	E	4'-0"	8'-0"	COMP	FF	INSUL	32.0	.26	8'-0"	.22	100 SERIES	
215	E	4'-0"	8'-0"	COMP	FF	INSUL	32.0	.26	8'-0"	.22	100 SERIES	
216	E	4'-0"	8'-0"	COMP	FF	INSUL	32.0	.26	8'-0"	.22	100 SERIES	
217	E	4'-0"	8'-0"	COMP	FF	INSUL	32.0	.26	8'-0"	.22	100 SERIES	
218	E	4'-0"	8'-0"	COMP	FF	INSUL	32.0	.26	8'-0"	.22	100 SERIES	
219	E	4'-0"	8'-0"	COMP	FF	INSUL	32.0	.26	8'-0"	.22	100 SERIES	
220	E	4'-0"	8'-0"	COMP	FF	INSUL	32.0	.26	8'-0"	.22	100 SERIES	
221	E	4'-0"	8'-0"	COMP	FF	INSUL	32.0	.26	8'-0"	.22	100 SERIES	
301	R	8'-0"	6'-0"	WD	FF	INSUL	--	--	8'-0"	--		INTERIOR RELITE
302	R	8'-0"	6'-0"	WD	FF	INSUL	--	--	8'-0"	--		INTERIOR RELITE
303	R	8'-0"	6'-0"	WD	FF	INSUL	--	--	8'-0"	--		INTERIOR RELITE
304	R	8'-0"	6'-0"	WD	FF	INSUL	--	--	8'-0"	--		INTERIOR RELITE

REVISIONS:

ISSUE:

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 FILE NO: A03

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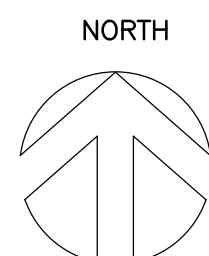
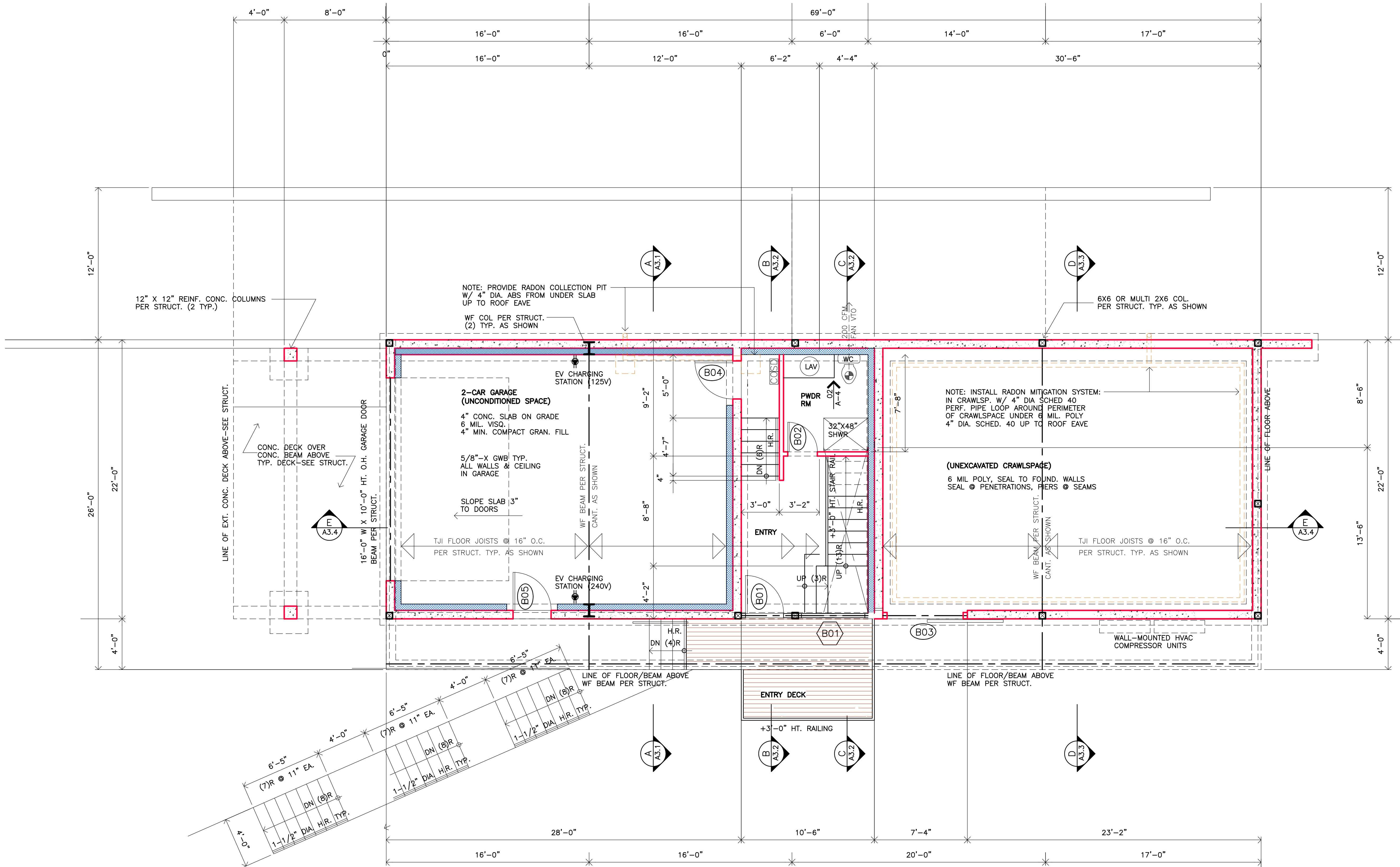
SHEET CONTENT:  
 DOOR & WINDOW SCHEDULES

PROJECT:  
 LAM RESIDENCE  
 980 WAGONWHEEL GAP ROAD  
 BOULDER, COLORADO 80302

SHEET NUMBER

A03



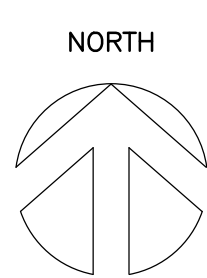
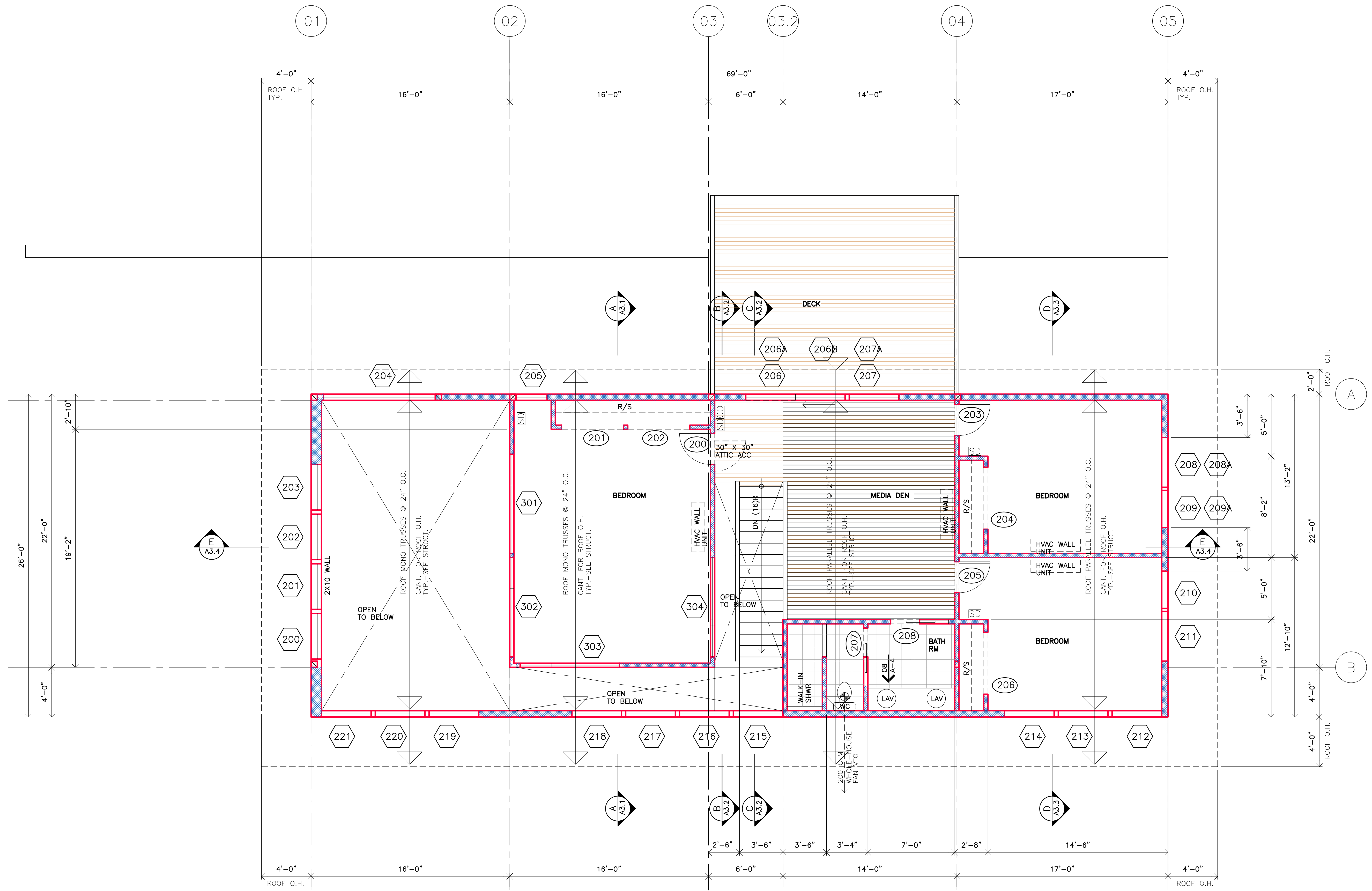


**LOWER FLOOR PLAN**  
1/4" = 1'-0"

**CRAWLSPACE VENTILATION CALCULATION:**  
 AREA OF CRAWLSPACE: 660 SQ. FT.  
 VENTING REQ'D. @ 1/150: 634 SQ. IN. REQ'D.  
 VENTING PROVIDED:  
 30" X 30" LOUVERED DOOR VENT: 900 SQ. IN. OK

REVISIONS:	
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CHECKED: DAS	
DATE: 8-14-18	
FILE NO: A10	
CONSULTANT	
SHEET CONTENT:	LOWER FLOOR PLAN
PROJECT:	LAM RESIDENCE 980 WAGONWHEEL GAP ROAD BOULDER, COLORADO 80302
SHEET NUMBER	A1.0





**UPPER FLOOR PLAN**  
1/4" = 1'-0"

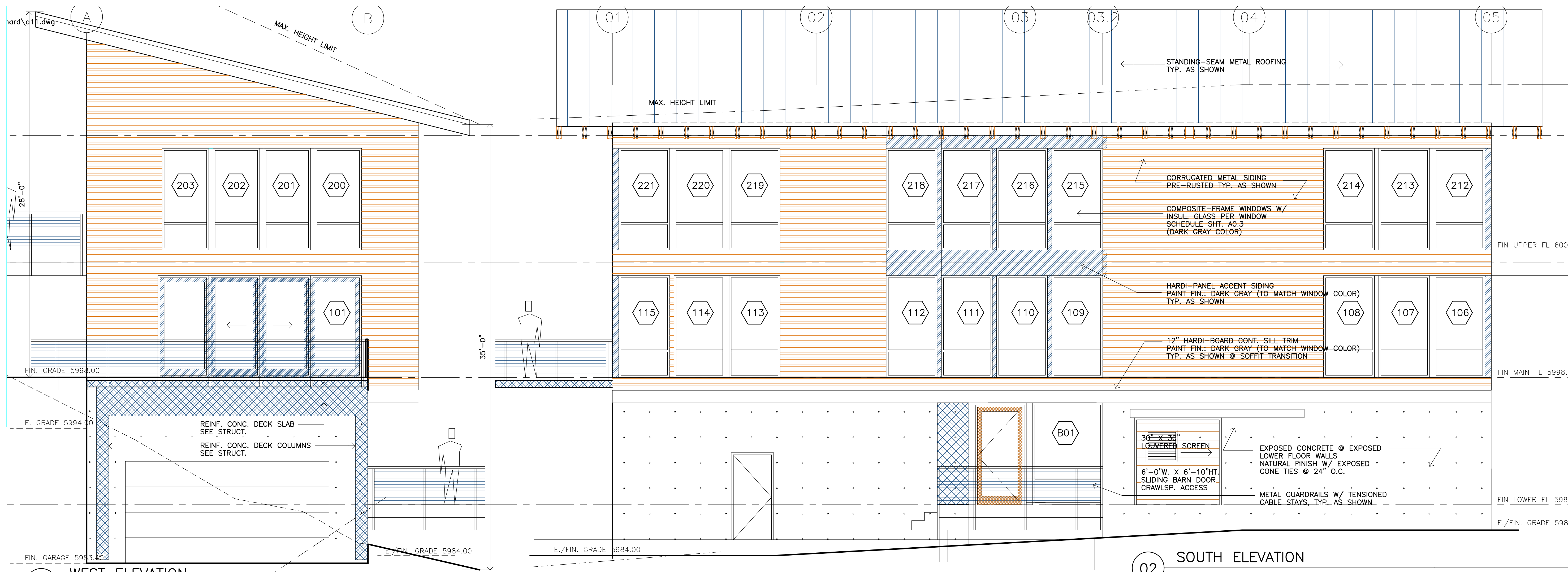
**ATTIC VENTILATION CALCULATION:**

TOTAL AREA OF ATTIC: 2,070 SQ. FT.  
 VENTILATION REQ'D. @ 1/300: 994 SQ. IN. VENTING REQ'D.  
 (50% VENTS PLACED MIN. 3'-0" ABOVE PLATE)

VENTILATION PROVIDED:  
 VENTED HARDIE SOFFIT PANELS @ ROOF EAVES: (3) WIDTHS OF 24" W. PANELS RATED AT 5 SQ. IN. VENT PER LINEAR FT.  
 = (3) X (69 LIN. FT. EAVE) X (5 SQ. IN. PER LIN. FT.)  
 = 1,035 SQ. IN. TOTAL OK

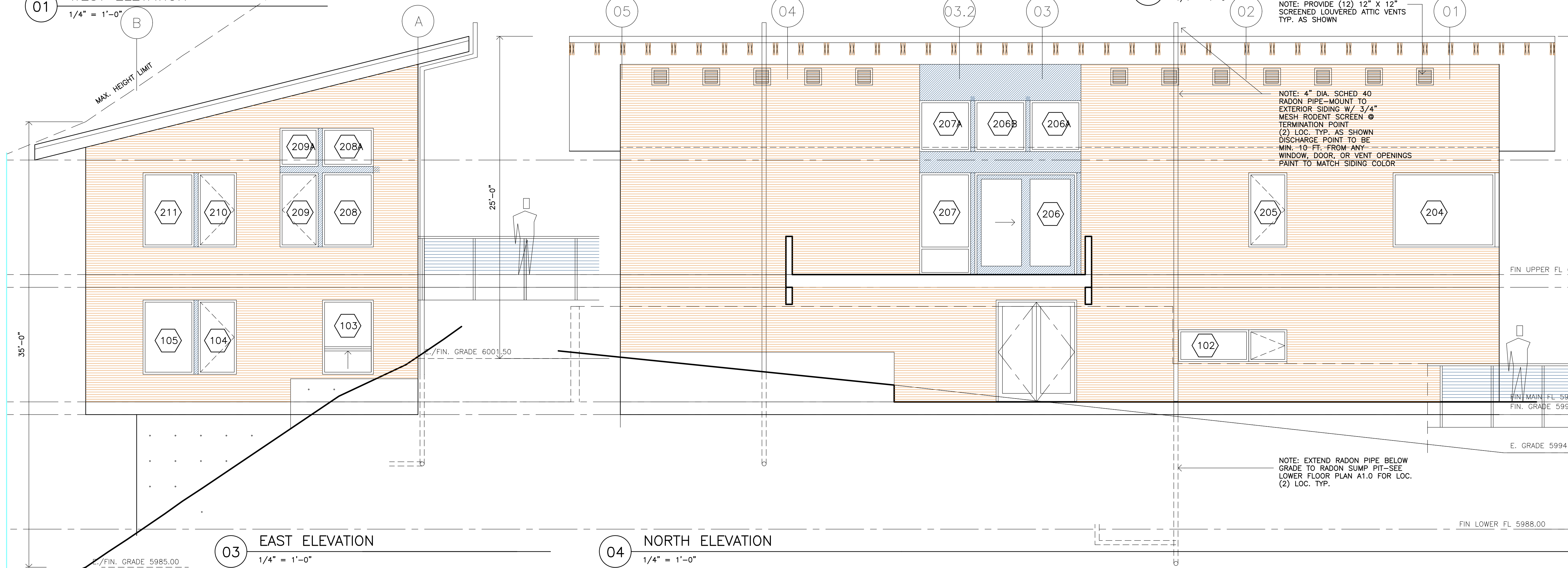
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CONSULTANT:	
SHEET CONTENT:	UPPER FLOOR PLAN
PROJECT:	LAM RESIDENCE 980 WAGONWHEEL GAP ROAD BOULDER, COLORADO 80302
SHEET NUMBER:	A1.2





01 WEST ELEVATION  
1/4" = 1'-0"

02 SOUTH ELEVATION  
1/4" = 1'-0"



03 EAST ELEVATION  
1/4" = 1'-0"

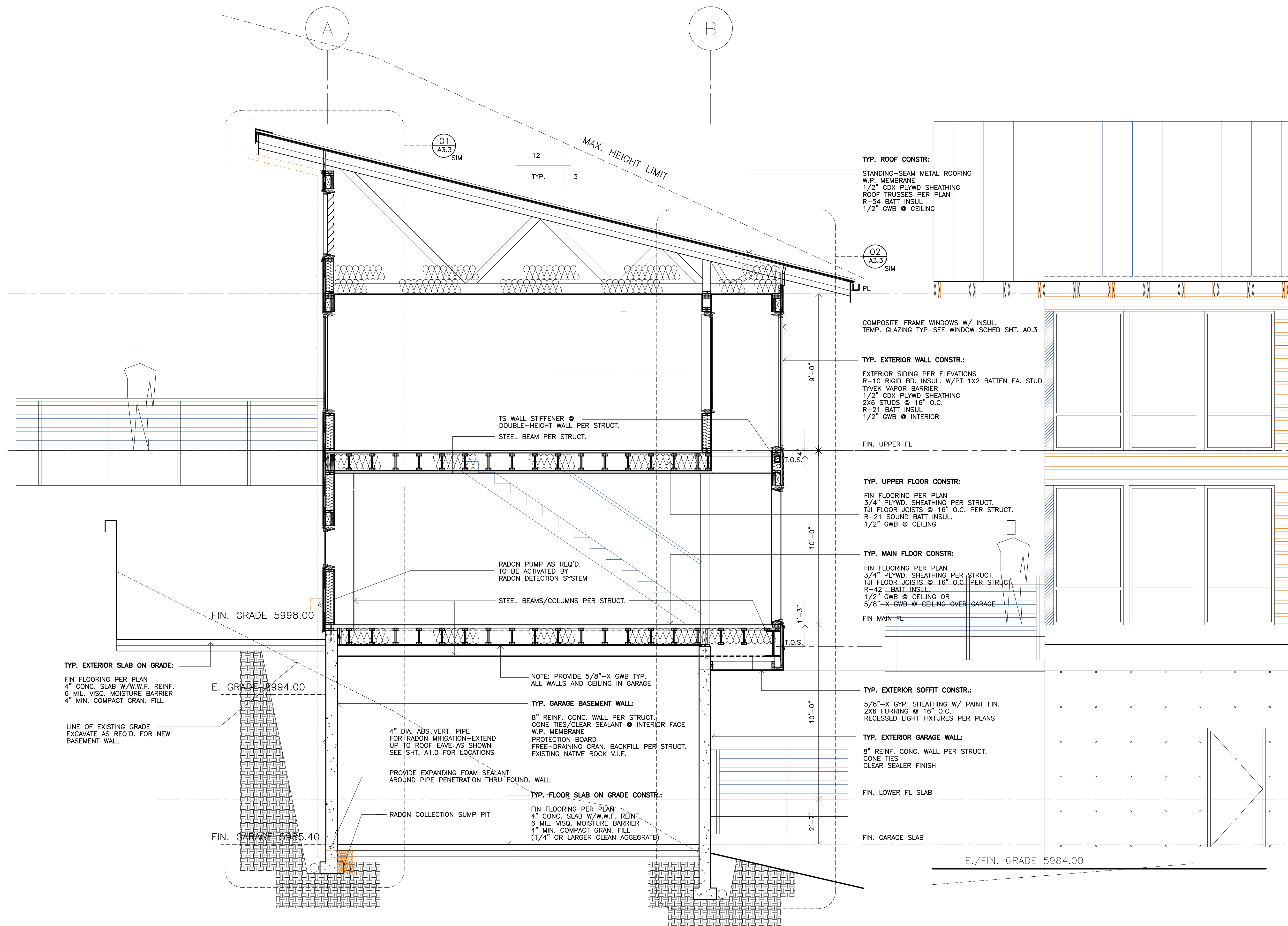
04 NORTH ELEVATION  
1/4" = 1'-0"

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DRAWN: DAS	
CHECKED: DAS	
DATE: 8-14-18	
FILE NO: A2	
CONSULTANT:	
SHEET CONTENT:	EXTERIOR ELEVATIONS
PROJECT:	LAM RESIDENCE 980 WAGONWHEEL GAP ROAD BOULDER, CO 80302
SHEET NUMBER:	A-2

NOTE: EXTEND RADON PIPE BELOW GRADE TO RADON SUMP PIT-SEE LOWER FLOOR PLAN A1.0 FOR LOC. (2) LOC. TYP.

NOTE: PROVIDE (12) 12" X 12" SCREENED LOUVERED ATTIC VENTS TYP. AS SHOWN

NOTE: 4" DIA. SCHED 40 RADON PIPE-MOUNT TO EXTERIOR SIDING W/ 3/4" MESH RODENT SCREEN TERMINATION POINT (2) LOC. TYP. AS SHOWN DISCHARGE POINT TO BE MIN. 10-FT. FROM ANY WINDOW, DOOR, OR VENT OPENINGS PAINT TO MATCH SIDING COLOR



**TYP. ROOF CONSTR:**  
 STANDING-SEAM METAL ROOFING  
 W.P. MEMBRANE  
 1/2" CDX PLYWD SHEATHING  
 ROOF TRUSSES PER PLAN  
 R-54 BATT INSUL  
 1/2" GWB @ CEILING

COMPOSITE-FRAME WINDOWS W/ INSUL.  
 TEMP. GLAZING TYP-SEE WINDOW SCHED SHT. A0.3

**TYP. EXTERIOR WALL CONSTR:**  
 EXTERIOR SIDING PER ELEVATIONS  
 R-10 RIGID BD. INSUL. W/PT 1X2 BATTEN EA. STUD  
 TYVEK VAPOR BARRIER  
 1/2" CDX PLYWD SHEATHING  
 2X6 STUDS @ 16" O.C.  
 R-21 BATT INSUL  
 1/2" GWB @ INTERIOR

**TYP. UPPER FLOOR CONSTR:**  
 FIN FLOORING PER PLAN  
 3/4" PLYWD. SHEATHING PER STRUCT.  
 TJI FLOOR JOISTS @ 16" O.C. PER STRUCT.  
 R-21 SOUND BATT INSUL.  
 1/2" GWB @ CEILING

**TYP. MAIN FLOOR CONSTR:**  
 FIN FLOORING PER PLAN  
 3/4" PLYWD. SHEATHING PER STRUCT.  
 TJI FLOOR JOISTS @ 16" O.C. PER STRUCT.  
 R-42 BATT INSUL.  
 1/2" GWB @ CEILING OR  
 5/8"-X GWB @ CEILING OVER GARAGE

**TYP. EXTERIOR SOFFIT CONSTR:**  
 5/8"-X GYP. SHEATHING W/ PAINT FIN.  
 2X6 FURRING @ 16" O.C.  
 RECESSED LIGHT FIXTURES PER PLANS

**TYP. EXTERIOR GARAGE WALL:**  
 8" REINF. CONC. WALL PER STRUCT.  
 CONE TIES  
 CLEAR SEALER FINISH

NOTE: PROVIDE 5/8"-X GWB TYP.  
 ALL WALLS AND CEILING IN GARAGE

**TYP. GARAGE BASEMENT WALL:**  
 8" REINF. CONC. WALL PER STRUCT.  
 CONE TIES/CLEAR SEALANT @ INTERIOR FACE  
 W.P. MEMBRANE  
 PROTECTION BOARD  
 FREE-DRAINING GRAN. BACKFILL PER STRUCT.  
 EXISTING NATIVE ROCK V.I.F.

**TYP. FLOOR SLAB ON GRADE CONSTR:**  
 FIN FLOORING PER PLAN  
 4" CONC. SLAB W/W.W.F. REINF.  
 6 MIL. VISO. MOISTURE BARRIER  
 4" MIN. COMPACT GRAN. FILL  
 (1/4" OR LARGER CLEAN AGGREGATE)

**TYP. EXTERIOR SLAB ON GRADE:**  
 FIN FLOORING PER PLAN  
 4" CONC. SLAB W/W.W.F. REINF.  
 6 MIL. VISO. MOISTURE BARRIER  
 4" MIN. COMPACT GRAN. FILL

LINE OF EXISTING GRADE  
 EXCAVATE AS REQ'D. FOR NEW  
 BASEMENT WALL

4" DIA. ABS VERT. PIPE  
 FOR RADON MITIGATION-EXTEND  
 UP TO ROOF EAVE AS SHOWN  
 SEE SHT. A1.0 FOR LOCATIONS

PROVIDE EXPANDING FOAM SEALANT  
 AROUND PIPE PENETRATION THRU FOUND. WALL

RADON COLLECTION SUMP PIT

TS WALL STIFFENER @  
 DOUBLE-HEIGHT WALL PER STRUCT.  
 STEEL BEAM PER STRUCT.

RADON PUMP AS REQ'D.  
 TO BE ACTIVATED BY  
 RADON DETECTION SYSTEM

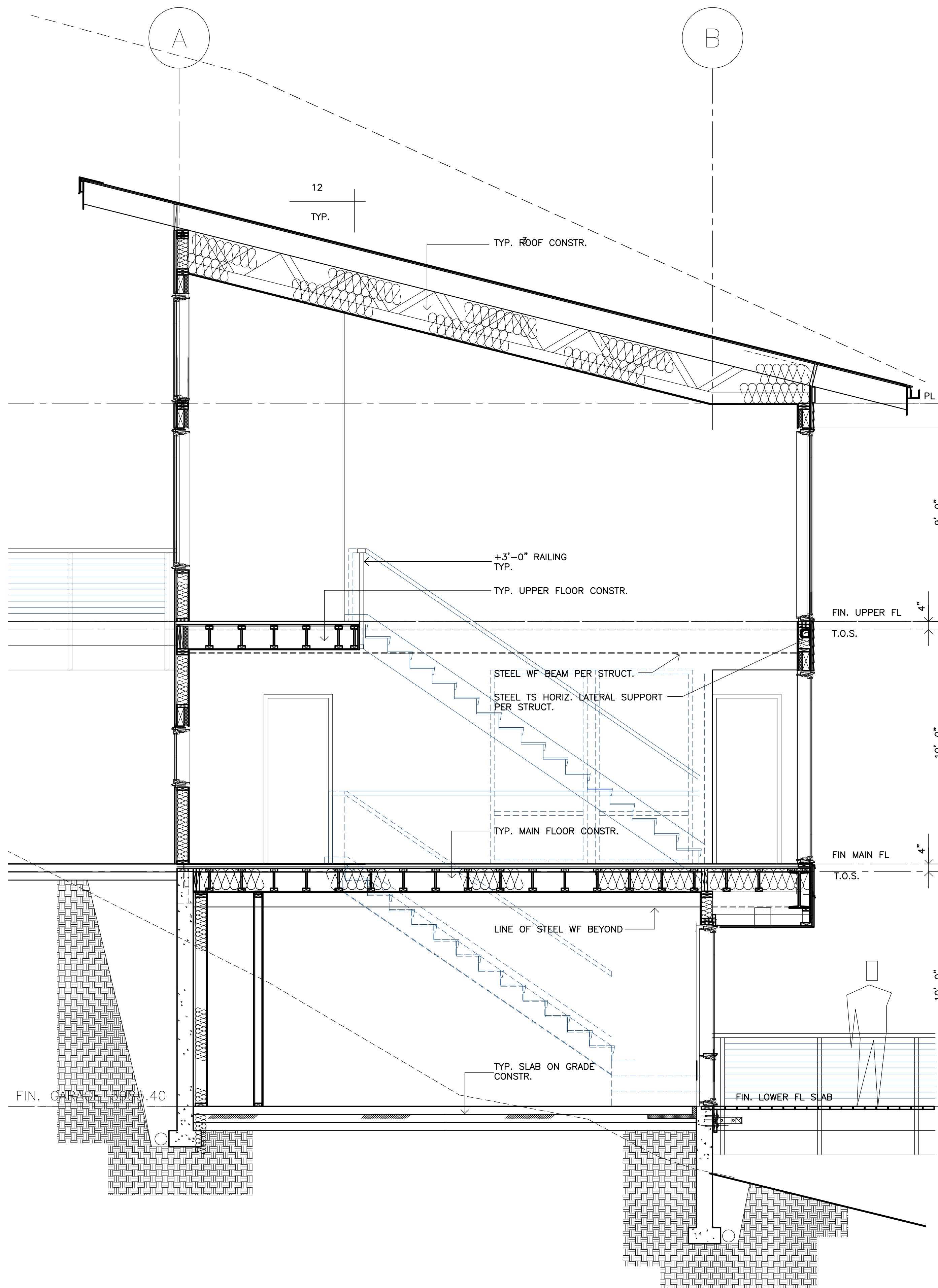
STEEL BEAMS/COLUMNS PER STRUCT.

REVISIONS:	
ISSUE:	
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CHECKED: DAS	
DATE: 8-14-18	
FILE NO: A3	
CONSULTANT	
SHEET CONTENT:	BUILDING SECTIONS
PROJECT:	LAM RESIDENCE
	980 WAGONWHEEL GAP ROAD
	BOULDER, CO 80302
SHEET NUMBER	

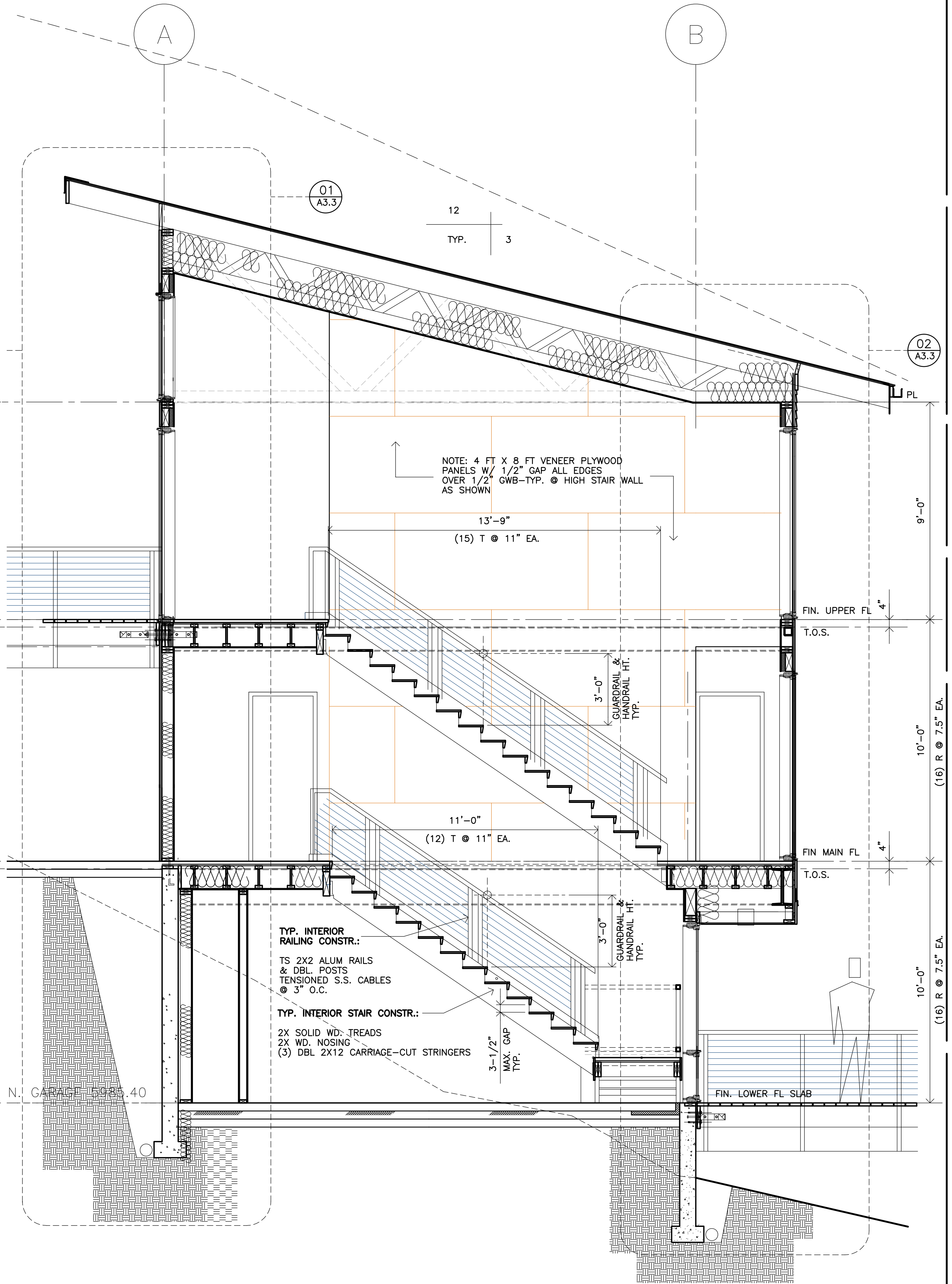
AA BUILDING SECTION  
 3/8" = 1'-0"

01 PARTIAL EXTERIOR SOUTH ELEV.  
 3/8" = 1'-0"

A3.1

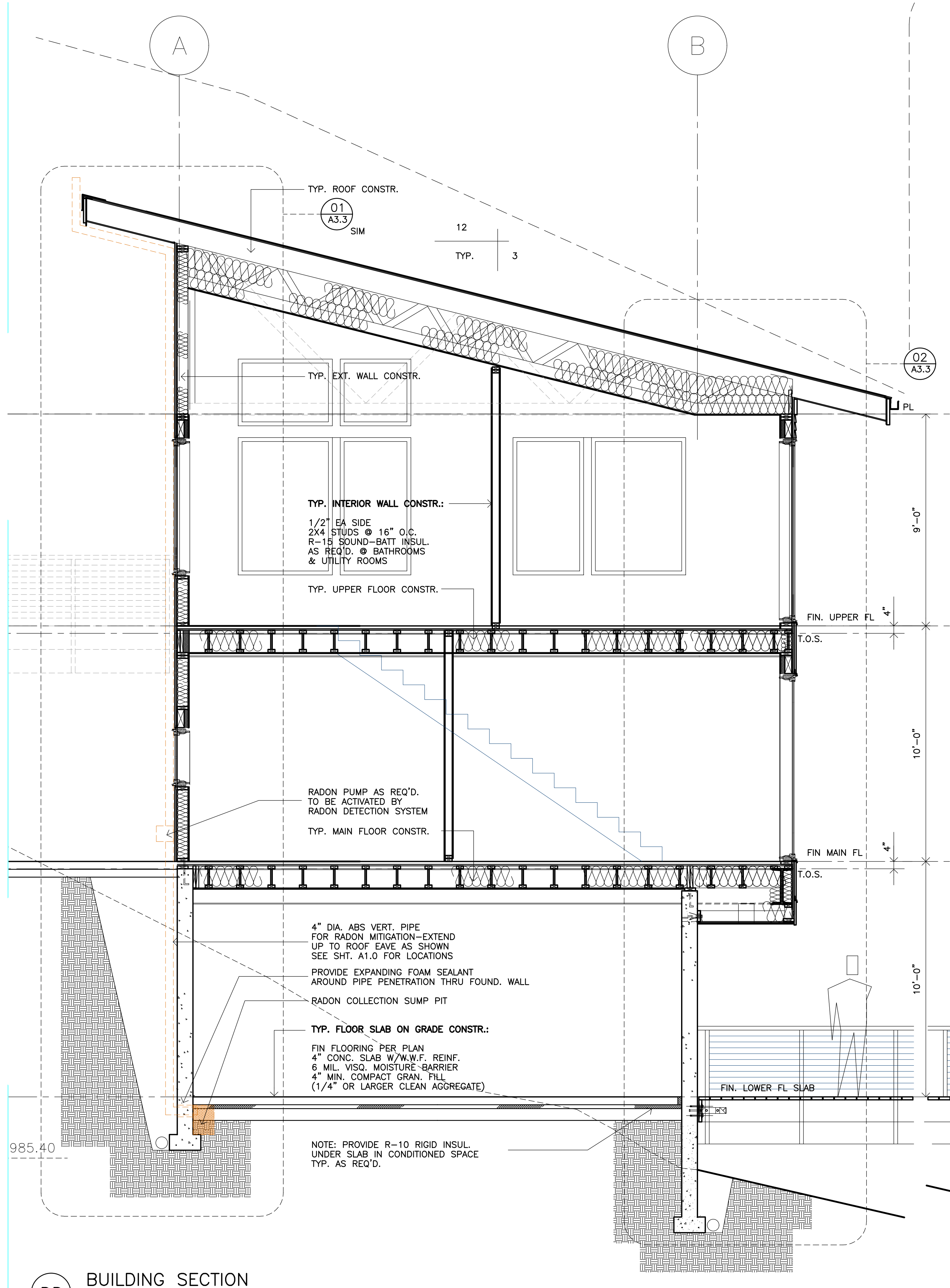


**BB** BUILDING SECTION  
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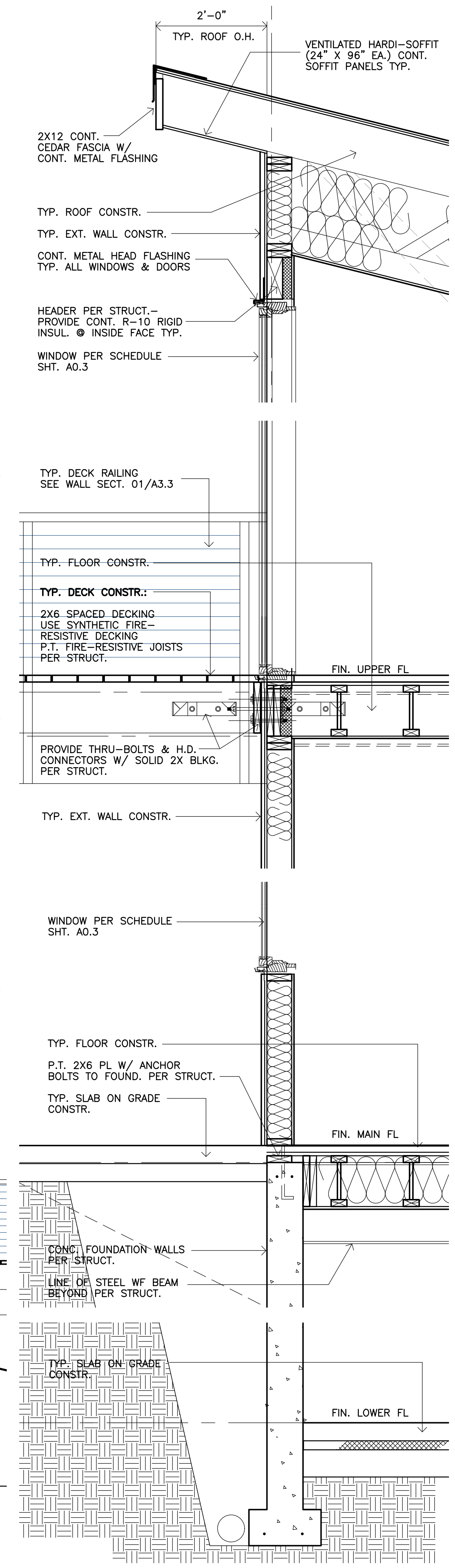


**CC** BUILDING SECTION  
3/8" = 1'-0"

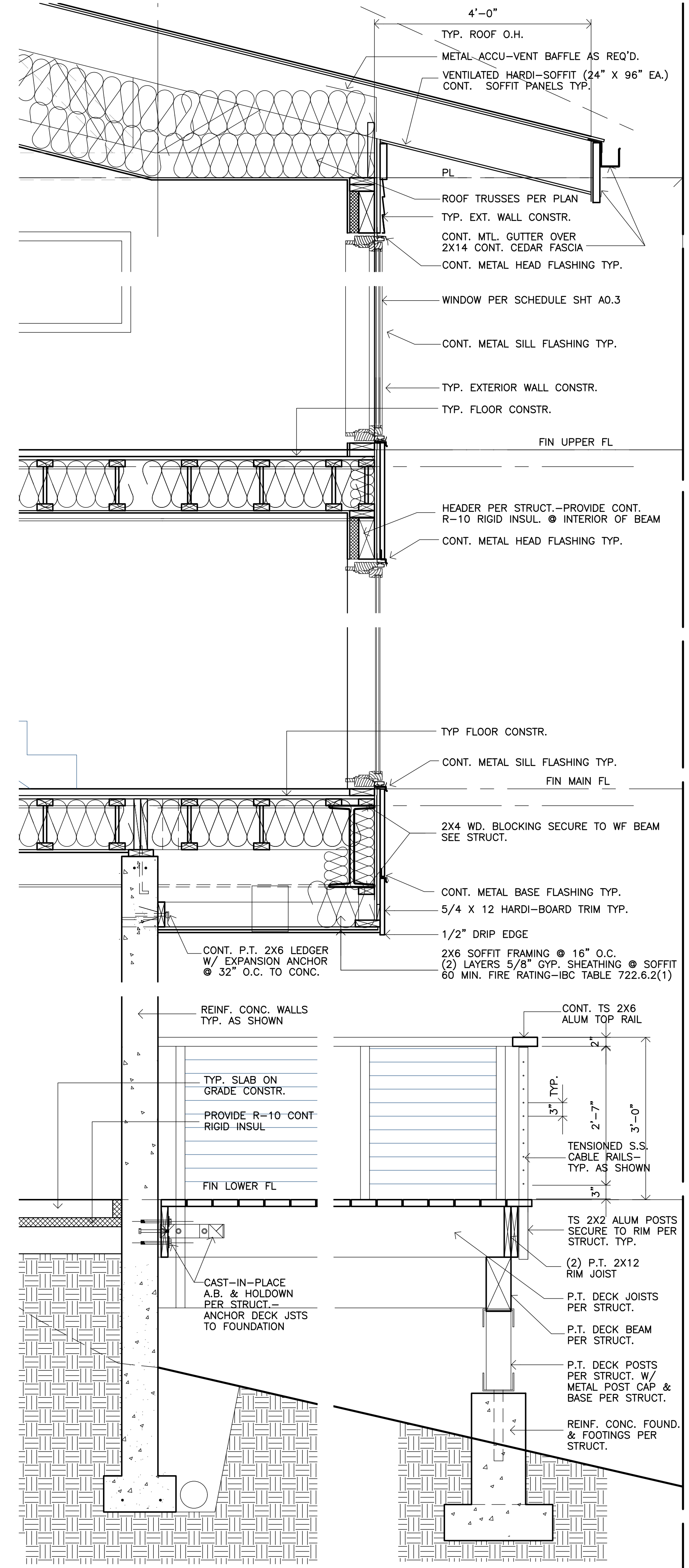
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CONSULTANT	
SHEET CONTENT:	BUILDING SECTIONS
PROJECT:	LAM RESIDENCE
	980 WAGONWHEEL GAP ROAD
	BOULDER, CO 80302
SHEET NUMBER	A3.2



DD BUILDING SECTION  
3/8" = 1'-0"

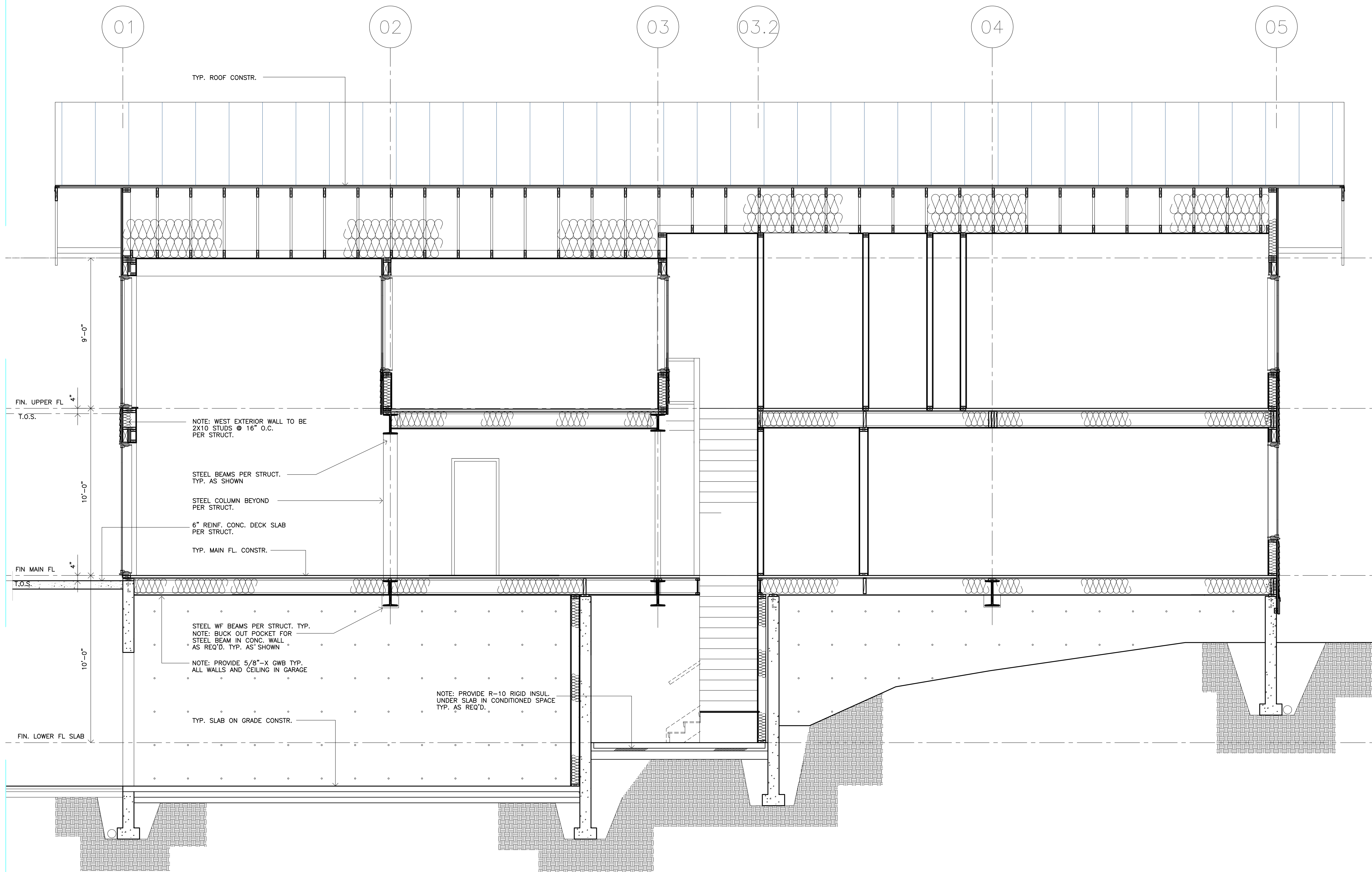


03 TYP. EXTERIOR WALL SECTION  
3/4" = 1'-0"



03 TYP. EXTERIOR WALL SECTION  
3/4" = 1'-0"

REVISIONS:					
ISSUE:					
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CONSULTANT					
SHEET CONTENT:	BUILDING SECTIONS				
PROJECT:	LAM RESIDENCE				
	980 WAGONWHEEL GAP ROAD				
	BOULDER, CO 80302				
SHEET NUMBER					



TYP. ROOF CONSTR.

NOTE: WEST EXTERIOR WALL TO BE  
2X10 STUDS @ 16" O.C.  
PER STRUCT.

STEEL BEAMS PER STRUCT.  
TYP. AS SHOWN

STEEL COLUMN BEYOND  
PER STRUCT.

6" REINF. CONC. DECK SLAB  
PER STRUCT.

TYP. MAIN FL. CONSTR.

STEEL WF BEAMS PER STRUCT. TYP.  
NOTE: BUCK OUT POCKET FOR  
STEEL BEAM IN CONC. WALL  
AS REQ'D. TYP. AS SHOWN

NOTE: PROVIDE 5/8"-X GWB TYP.  
ALL WALLS AND CEILING IN GARAGE

NOTE: PROVIDE R-10 RIGID INSUL.  
UNDER SLAB IN CONDITIONED SPACE  
TYP. AS REQ'D.

TYP. SLAB ON GRADE CONSTR.

EE

BUILDING SECTION

3/8" = 1'-0"

REVISIONS:

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CHECKED: DAS  
DATE: 8-14-18  
FILE NO: A3

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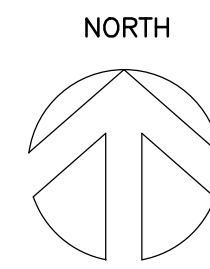
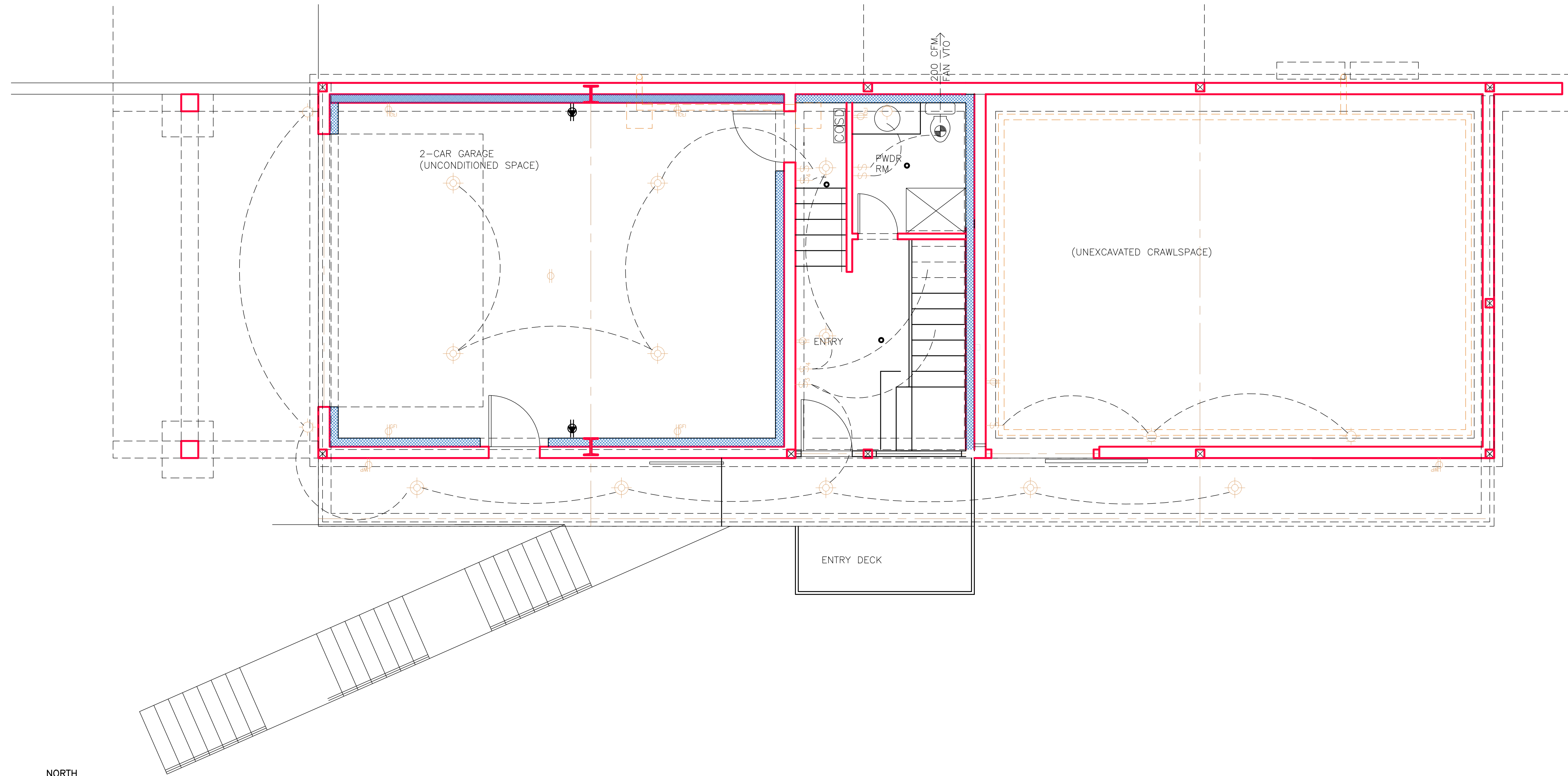
SHEET CONTENT:

BUILDING SECTIONS

PROJECT:  
**LAM RESIDENCE**  
980 WAGONWHEEL GAP ROAD  
BOULDER, CO 80302

SHEET NUMBER

A3.4



01

LOWER FLOOR ELECTRICAL/SPRINKLER PLAN

1/4" = 1'-0"

ELECTRICAL SYMBOL LEGEND

00'-0"	CEILING HT. INDICATOR	⊕	DUPLEX RECEP
⊕	WALL-MOUNTED DBL FLOOD	⊕ <sup>GF</sup>	GROUND-FAULT INTERRUPT RECEP
⊖	SOFFIT- OR WALL-MOUNTED FLUORESCENT STRIP LIGHT	⊕ <sup>S</sup>	SPECIALTY RECEP
⊖	CEILING-MOUNT FLUORESCENT STRIP LIGHT	⊕	SWITCHED RECEP
⊕	RECESSED CLG DOWNLIGHT	⊕ <sup>WP</sup>	EXTERIOR WATER-PROOF RECEP
⊕	WALL-MOUNT LIGHT	⊕	SWITCH
⊕	SURFACE-MOUNT CLG LIGHT	⊕ <sup>3</sup>	3-WAY SWITCH
⊕	CLG-MOUNT WALL WASHER	⊕ <sup>4</sup>	4-WAY SWITCH
⊖	CLG-MOUNT LOW-VOLTAGE TRACK	⊕ <sup>DM</sup>	DIMMER SWITCH
		⊕	FAN

SPRINKLER SYMBOL LEGEND

•	SPRINKLER HEAD LOCATION
---	-------------------------

SHEET CONTENT:

LOWER FL & SITE ELECTRICAL PLANS

PROJECT:  
**LAM RESIDENCE**  
980 WAGONWHEEL GAP ROAD  
BOULDER, COLORADO 80302

SHEET NUMBER



CONSULTANT

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DATE: 8-14-18  
FILE NO:ET

ISSUE:

REVISIONS:

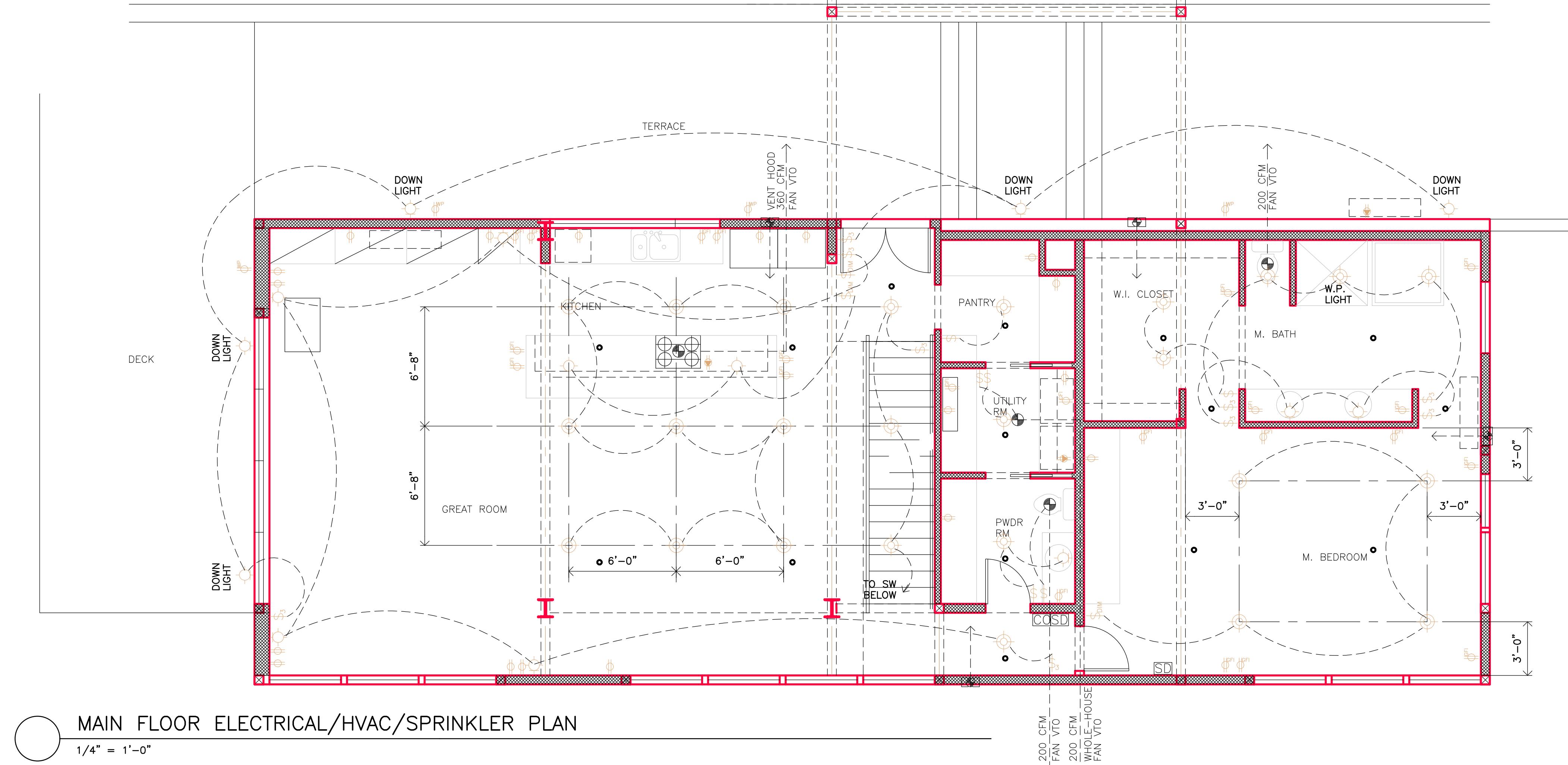
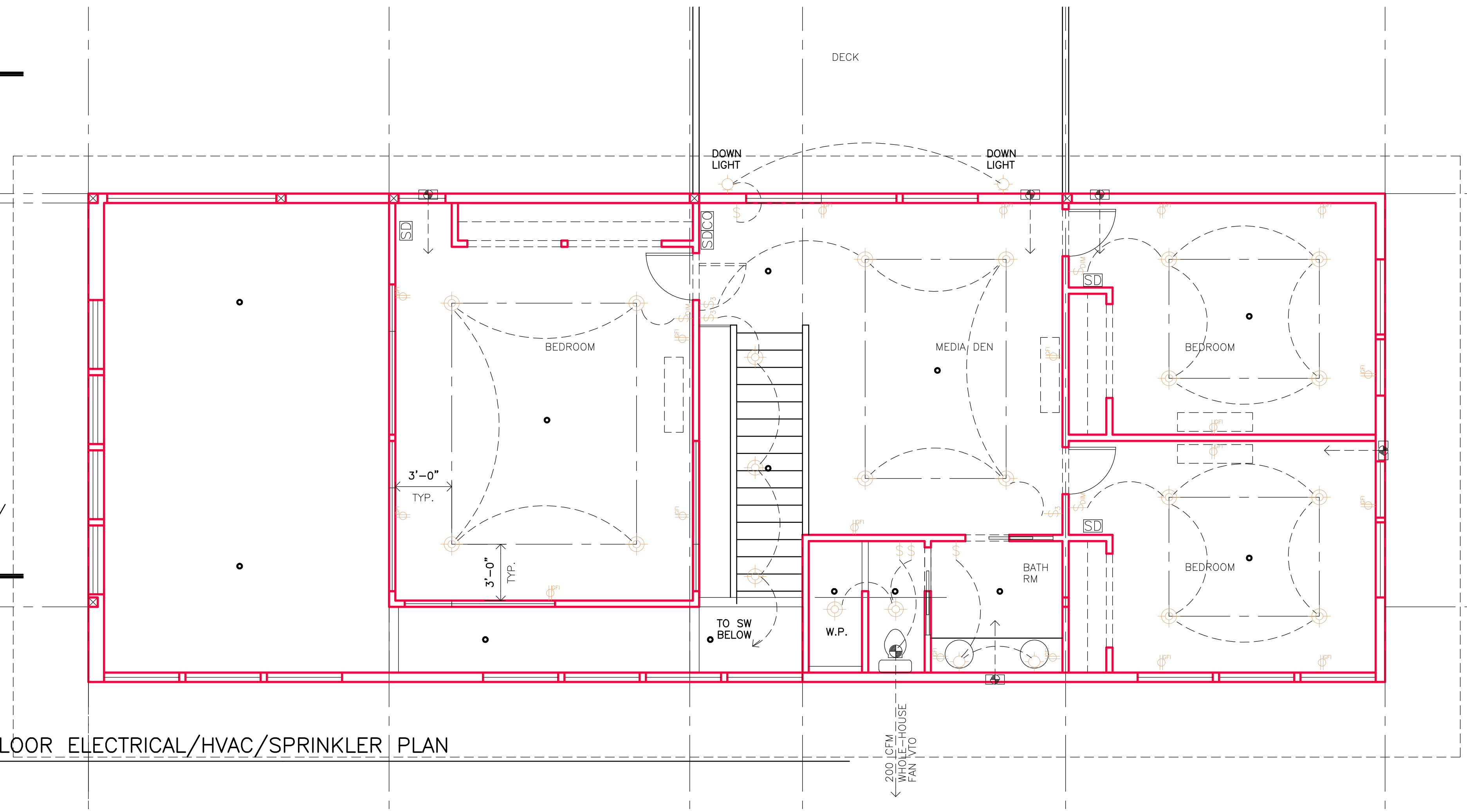
**ELECTRICAL SYMBOL LEGEND**

00'-0"	CEILING HT. INDICATOR	⊕	DUPLEX RECEP
⊕	WALL-MOUNTED DBL FLOOD	⊕ <sup>FI</sup>	GROUND-FAULT INTERRUPT RECEP
---	SOFFIT- OR WALL-MOUNTED FLUORESCENT STRIP LIGHT	⊕	SPECIALTY RECEP
---	CEILING-MOUNT FLUORESCENT STRIP LIGHT	⊕	SWITCHED RECEP
⊕	RECESSED CLG DOWNLIGHT	⊕ <sup>WP</sup>	EXTERIOR WATER-PROOF RECEP
⊕	WALL-MOUNT LIGHT	⊕	SWITCH
⊕	SURFACE-MOUNT CLG LIGHT	⊕ <sub>3</sub>	3-WAY SWITCH
⊕	CLG-MOUNT WALL WASHER	⊕ <sub>4</sub>	4-WAY SWITCH
---	CLG-MOUNT LOW-VOLTAGE TRACK	⊕ <sub>DM</sub>	DIMMER SWITCH
		⊕	FAN
		---	DUCTLESS WALL-MOUNTED HEATING/COOLING UNIT
		⊕	IN-WALL FRESH AIR INLET W/ FLOW-REGULATING DAMPER

**SPRINKLER SYMBOL LEGEND**

●	SPRINKLER HEAD
---	----------------

○ UPPER FLOOR ELECTRICAL/HVAC/SPRINKLER PLAN  
1/4" = 1'-0"



○ MAIN FLOOR ELECTRICAL/HVAC/SPRINKLER PLAN  
1/4" = 1'-0"

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DATE: 8-14-18	
FILE NO: E2	
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SHEET CONTENT:  
MAIN FL & UPPER FL ELECTRICAL/HVAC/SPRINKLER PLANS  
PROJECT:  
**LAM RESIDENCE**  
980 WAGONWHEEL GAP ROAD  
BOULDER, COLORADO 80302

SHEET NUMBER

